

HANCOCK ASSOCIATES

Surveyors | Engineers | Scientists

#25337

September 18, 2025

Medway Conservation Commission
Attention: Bridget Graziano
155 Village Street
Medway, MA 02053

Re: Notice of Intent (NOI) – 39 West Street, Medway, MA

Dear Conservation Commission Members,

On behalf of Mr. Steven Brody (Applicant), Hancock Associates submits this Notice of Intent (NOI) in request to permit the construction of a 2-story residential condominium building and associated parking and infrastructure within jurisdictional wetland resource areas and/or associated buffer zones. The project has been designed to meet all state and local wetland regulations and performance standards. As such, we respectfully request that the Conservation Commission consider the issuance of an Order of Conditions to permit the scope of work described herein.

The following report describes compliance with these regulations.

Existing Conditions

The property is developed with a single-family home, paved driveway, gravel vehicular areas, woodland, and grass areas. The property is currently accessed by a paved driveway in front of the existing garage and a gravel driveway to the north of the existing dwelling which accesses the rear of the site. The 1.4-acre lot (identified as Parcel ID#55-51 on the Medway Assessors Map) is bounded by West Street to the east, Boston Edison Company to the north and northwest, Roche's Building Company to the west, and GBW Senior Apartments LLC to the south (refer to Existing Conditions Plan Sheet EC in the Permit Site Plans).

An environmental constraints desktop assessment of the subject property was performed through review of MassGIS data layers, USGS 7.5-minute quadrangle maps, NRCS soil maps, aerial photography, and Federal Emergency Management Agency (FEMA) Flood Insurance Rate Maps (FIRMs).

Based on this review, there are no environmental sensitive resource areas such as Areas of Critical Environmental Concern, Outstanding Resource Waters (ORWs), NHESP mapped Estimated or Priority Rare Species Habitats, NHESP mapped Certified or Potential Vernal Pools,

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Cold Water Fisheries, Surface Water Protection Zones, or Wellhead Protection Zones on the property.

According to the USGS map, a perennial stream (Hopping Brook) is located within 200-feet of the subject property, thus there is Riverfront Area on the lot.

According to the FEMA FIRM, no portions of the property are located at or below the 100-year floodplain, thus there is no Bordering Land Subject to Flooding on the property.

There is jurisdictional Bordering Vegetated Wetlands (BVW) occurring on site. This resource areas and Mean Annual High Water (MAHW) associated with Riverfront Area were field delineated by Three Oaks Environmental in accordance with MassDEP Wetland Delineation methodology and is identified on the Permit Site Plan.

Scope of Work

The Applicant is proposing the construction of a 2-story residential condominium building within jurisdictional wetland resource areas and associated buffer zone. Associated improvements will include paved vehicular and pedestrian areas, outdoor amenity space, landscaped areas, stormwater management systems, and utility services (refer to Permit Site Plans).

Riverfront Area (310 CMR 10.58(4))

In site design, the Applicant has worked to avoid and minimize impacts within Riverfront Area to the extent practicable. However, the design team determined that a stormwater infiltration basin would need to be partially constructed within the Riverfront Area to provide stormwater management in accordance with the MassDEP Stormwater Management Standards.

In accordance with the Performance Standards for work within Riverfront Area, the Applicant is permitted to permanently alter no greater than 5,000sf or 10% of the total Riverfront Area on the lot.

However, pursuant to 310 CMR 10.58(4)3.(d) of the WPA regulations, *“The calculation shall exclude areas used for structural stormwater management measures, provided there is no practicable alternative to siting these structures within the riverfront area and provided a wildlife corridor is maintained (e.g. detention basins shall not be fenced)”*.

The location of the stormwater infiltration basin is dictated by the existing site drainage and topography. As the infiltration basin must be constructed at a lower elevation than the

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impervious surface area for which the stormwater originates, the civil engineers determined there is no practicable alternative location available to provide stormwater treatment that would result in further minimization or avoidance of alteration within Riverfront Area. There is no fencing proposed around the basin that would prevent or encumber wildlife passage.

In this circumstance, as all project impacts within Riverfront Area are limited to the stormwater infiltration basin meeting this exemption, there is no quantifiable surface area of impact within Riverfront Area attributed toward the 5,000sf or 10% threshold. Therefore, the Project is considered to result in No Significant Adverse Impact to Riverfront Area in accordance with 310 CMR 10.58(4)3.(d) and thus complies with all Performance Standards for work within Riverfront Area.

100-foot Buffer Zone to Bordering Vegetated Wetland

Buffer Zone is defined in 310 CRM 10.04 as *“that area of land extending 100 feet horizontally outward from the boundary of any area specified in 310 CMR 10.02(1)(a).”*

There are no specific Performance Standards associated with the 100-foot Buffer Zone, however this serves as a threshold trigger upon which work becomes subject to MassDEP and municipal Conservation Commission review to ensure work within the Buffer Zone presents no significant risk of adverse impact to the wetland resource areas for which the Buffer Zone intends to protect.

To prevent adverse impact to wetlands stemming from work within the Buffer Zone, the Applicant will provide conventional Best Management Practices (BMPs) for erosion, sediment and stormwater management during construction such as silt fencing, staked fiber rolls, stone sediment tracking aprons, and interim sediment basins during construction. To prevent long term adverse impacts to wetlands, the Applicant proposes a stormwater management system compliant with the MassDEP Stormwater Management Standards that will ensure high water quality discharging to wetlands.

Town of Medway Wetland Bylaw Regulations

The Town of Medway Wetland Bylaw imposes a 25-foot No Disturb Zone (NDZ) and 50-foot No Build Zone (NBZ) broadcast from Bordering Vegetated Wetlands.

The property as developed consists of existing non-conforming development within these setback zones that were constructed prior to enactment of the Local Bylaw. As proposed herein, the Applicant’s intent is in-kind reconstruction of the building and infrastructure lost to

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fire, the Applicant intends to maintain the same limits of existing non-conforming development with local setback zones without change.

25-foot No-Disturb Zone (NDZ)

Under the local regulations, alteration within 25-feet of jurisdictional wetlands is prohibited. The proposed project complies with these regulations as no work is proposed within the 25-foot NDZ. This zone is currently forested and shall remain undisturbed and forested in the post-construction condition.

50-foot No-Build Zone (NBZ)

Under the local regulations, construction of buildings or structures within 50-feet of jurisdictional wetlands is prohibited. The proposed project complies with these regulations as no buildings are proposed within the local 50-foot NBZ.

Stormwater Management

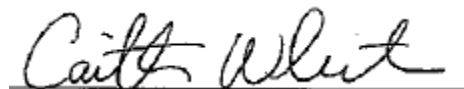
The proposed stormwater management system will include catch basins with deep sumps and hoods, underground infiltration chambers, a flow-through treatment device, an infiltration basin, and a network of pipes. The proposed stormwater management system was designed to meet the Stormwater Management Standards described in the Massachusetts Stormwater Handbook and the Town of Medway's Stormwater Design Requirements (refer to Stormwater Management Report).

Conclusion

As described herein, we believe the scope of work proposed has been designed to meet the performance standards set forth by the WPA Regulations and Town of Medway Wetland Bylaw and we believe the project will not result in any adverse impacts to those wetland resource areas. As such, we respectfully request that the Medway Conservation Commission consider issuance of an Orders of Conditions permit to allow the scope of work described herein. Thank you for your consideration in this matter.

Regards,

Hancock Associates on behalf of Mr. Steven Brody



Caitlin White, WPIT
Project Wetland Scientist

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cc: MassDEP Central Regional Office (via eDEP)

Attachments:

- I – eDEP WPA Form 3
- II – Figures
- III – Abutter Notification
- IV – Filing Fees
- V – Permit Site Plan

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Attachment I – eDEP WPA Form 3



Massachusetts Department of Environmental Protection

eDEP Transaction Copy

Here is the file you requested for your records.

To retain a copy of this file you must save and/or print.

Username: **CWHITE111**

Transaction ID: **1931994**

Document: **WPA Form 3 - NOI**

Size of File: **273.87K**

Status of Transaction: **In Process**

Date and Time Created: **9/18/2025:10:18:48 AM**

Note: This file only includes forms that were part of your transaction as of the date and time indicated above. If you need a more current copy of your transaction, return to eDEP and select to "Download a Copy" from the Current Submittals page.



Massachusetts Department of Environmental Protection

Bureau of Resource Protection - Wetlands

WPA Form 3 - Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:
MassDEP File #:
eDEP Transaction #:1931994
City/Town:MEDWAY

A.General Information

1. Project Location:

a. Street Address	33 WEST STREET	c. Zip Code	02053
b. City/Town	MEDWAY	e. Longitude	71.45170W
d. Latitude	42.13941N	g.Parcel/Lot #	51
f. Map/Plat #	55		

2. Applicant:

☒ Individual ☐ Organization

a. First Name	STEVEN	b.Last Name	BRODY
c. Organization			
d. Mailing Address	33 WEST STREET		
e. City/Town	MEDWAY	f. State	MA
g. Zip Code	02053	j. Email	village.limited@outlook.com
h. Phone Number	508-816-6700	i. Fax	

3.Property Owner:

☐ more than one owner

a. First Name	STEVEN	b. Last Name	BRODY
c. Organization			
d. Mailing Address	33 WEST STREET		
e. City/Town	MEDWAY	f.State	MA
g. Zip Code	02053	j.Email	village.limited@outlook.com
h. Phone Number	508-816-6700	i. Fax	

4.Representative:

a. First Name	DAVID	b. Last Name	COWELL
c. Organization	HANCOCK ASSOCIATES		
d. Mailing Address	185 CENTRE STREET		
e. City/Town	DANVERS	f. State	MA
g. Zip Code	01923	j.Email	dcowell@hancockassociates.com
h.Phone Number	978-777-3050	i.Fax	

5.Total WPA Fee Paid (Automatically inserted from NOI Wetland Fee Transmittal Form):

a.Total Fee Paid	3,075.00	b.State Fee Paid	1,525.00	c.City/Town Fee Paid	1,550.00
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6.General Project Description:

THE DEVELOPMENT OF THE SITE WITH THE CONSTRUCTION OF A 2-STORY RESIDENTIAL CONDOMINIUM BUILDING WITHIN BUFFER ZONES TO JURISDICTIONAL WETLAND RESOURCE AREAS.

7a.Project Type:

- | | |
|---|--|
| 1. ☐ Single Family Home | 2. ☒ Residential Subdivision |
| 3. ☐ Limited Project Driveway Crossing | 4. ☐ Commercial/Industrial |
| 5. ☐ Dock/Pier | 6. ☐ Utilities |
| 7. ☐ Coastal Engineering Structure | 8. ☐ Agriculture (eg., cranberries, forestry) |
| 9. ☐ Transportation | 10. ☐ Other |

7b.Is any portion of the proposed activity eligible to be treated as a limited project subject to 310 CMR 10.24 (coastal) or 310



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CMR 10.53 (inland)?

1. ☐ Yes ☒ No If yes, describe which limited project applies to this project:
2. Limited Project

8. Property recorded at the Registry of Deeds for:

a. County:	b. Certificate:	c. Book:	d. Page:
		37060	585

B. Buffer Zone & Resource Area Impacts (temporary & permanent)

1. Buffer Zone & Resource Area Impacts (temporary & permanent):

☐ This is a Buffer Zone only project - Check if the project is located only in the Buffer Zone of a Bordering Vegetated Wetland, Inland Bank, or Coastal Resource Area.

2. Inland Resource Areas: (See 310 CMR 10.54 - 10.58, if not applicable, go to Section B.3. Coastal Resource Areas)

Resource Area	Size of Proposed Alteration	Proposed Replacement (if any)
---------------	-----------------------------	-------------------------------

a. ☐ Bank	1. linear feet	2. linear feet
b. ☐ Bordering Vegetated Wetland	1. square feet	2. square feet
c. ☐ Land under Waterbodies and Waterways	1. Square feet	2. square feet
	3. cubic yards dredged	
d. ☐ Bordering Land Subject to Flooding	1. square feet	2. square feet
	3. cubic feet of flood storage lost	4. cubic feet replaced
e. ☐ Isolated Land Subject to Flooding	1. square feet	
	2. cubic feet of flood storage lost	3. cubic feet replaced
f. ☒ Riverfront Area	Hopping Brook	
	1. Name of Waterway (if any)	
2. Width of Riverfront Area (check one)	☐ 25 ft. - Designated Densely Developed Areas only	
	☐ 100 ft. - New agricultural projects only	
	☒ 200 ft. - All other projects	
3. Total area of Riverfront Area on the site of the proposed project		16118 square feet
4. Proposed Alteration of the Riverfront Area:		
5641	0	5641
a. total square feet	b. square feet within 100 ft.	c. square feet between 100 ft. and 200 ft.

**Massachusetts Department of Environmental
Protection**

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eDEP Transaction #:1931994

City/Town:MEDWAY

5. Has an alternatives analysis been done and is it attached to this NOI?

☐ Yes ☒ No

6. Was the lot where the activity is proposed created prior to August 1, 1996?

☒ Yes ☐ No

3.Coastal Resource Areas: (See 310 CMR 10.25 - 10.35)

Resource Area	Size of Proposed Alteration	Proposed Replacement (if any)
a. ☐ Designated Port Areas	Indicate size under	Land under the ocean below,
b. ☐ Land Under the Ocean	1. square feet	
	2. cubic yards dredged	
c. ☐ Barrier Beaches	Indicate size under Coastal Beaches and/or Coastal Dunes, below	
d. ☐ Coastal Beaches	1. square feet	2. cubic yards beach nourishment
e. ☐ Coastal Dunes	1. square feet	2. cubic yards dune nourishment
f. ☐ Coastal Banks	1. linear feet	
g. ☐ Rocky Intertidal Shores	1. square feet	
h. ☐ Salt Marshes	1. square feet	2. sq ft restoration, rehab, crea.
i. ☐ Land Under Salt Ponds	1. square feet	
	2. cubic yards dredged	
j. ☐ Land Containing Shellfish	1. square feet	
k. ☐ Fish Runs	Indicate size under Coastal Banks, Inland Bank, Land Under the Ocean, and/or inland Land Under Waterbodies and Waterways, above	
	1. cubic yards dredged	
l. ☐ Land Subject to Coastal Storm Flowage	1. square feet	

4. Restoration/Enhancement

☐ Restoration/Replacement

If the project is for the purpose of restoring or enhancing a wetland resource area in addition to the square footage that has been entered in Section B.2.b or B.3.h above, please entered the additional amount here.

a. square feet of BVW

b. square feet of Salt Marsh

5. Projects Involves Stream Crossings

☐ Project Involves Streams Crossings



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Provided by MassDEP:
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If the project involves Stream Crossings, please enter the number of new stream crossings/number of replacement stream crossings.

a. number of new stream crossings

b. number of replacement stream crossings

C. Other Applicable Standards and Requirements

Streamlined Massachusetts Endangered Species Act/Wetlands Protection Act Review

1. Is any portion of the proposed project located in **Estimated Habitat of Rare Wildlife** as indicated on the most recent Estimated Habitat Map of State-Listed Rare Wetland Wildlife published by the Natural Heritage of Endangered Species program (NHESP)?

a. ☐ Yes ☒ No

If yes, include proof of mailing or hand delivery of NOI to:

Natural Heritage and Endangered Species

Program

Division of Fisheries and Wildlife

1 Rabbit Hill Road

Westborough, MA 01581

b. Date of map:FROM MAP VIEWER

If yes, the project is also subject to Massachusetts Endangered Species Act (MESA) review (321 CMR 10.18)....

c. Submit Supplemental Information for Endangered Species Review * (Check boxes as they apply)

1. ☐ Percentage/acreage of property to be altered:

(a) within Wetland Resource Area

percentage/acreage

(b) outside Resource Area

percentage/acreage

2. ☐ Assessor's Map or right-of-way plan of site

3. ☐ Project plans for entire project site, including wetland resource areas and areas outside of wetland jurisdiction, showing existing and proposed conditions, existing and proposed tree/vegetation clearing line, and clearly demarcated limits of work **

a. ☐ Project description (including description of impacts outside of wetland resource area & buffer zone)

b. ☐ Photographs representative of the site

c. ☐ MESA filing fee (fee information available at: <http://www.mass.gov/eea/agencies/dfg/dfw/natural-heritage/regulatory-review/mass-endangered-species-act-mesa/mesa-fee-schedule.html>)

Make check payable to "Natural Heritage & Endangered Species Fund" and **mail to NHESP** at above address

Projects altering 10 or more acres of land, also submit:

d. ☐ Vegetation cover type map of site

e. ☐ Project plans showing Priority & Estimated Habitat boundaries

d. OR Check One of the following

1. ☐ Project is exempt from MESA review. Attach applicant letter indicating which MESA exemption applies. (See 321 CMR 10.14, <http://www.mass.gov/eea/agencies/dfg/dfw/laws-regulations/cmr/321-cmr-1000-massachusetts-endangered-species-act.html#10.14>; the NOI must still be sent to NHESP if the project is within estimated habitat pursuant to 310 CMR 10.37 and 10.59.)

2. ☐ Separate MESA review ongoing.

a. NHESP Tracking Number

b. Date submitted to NHESP



Massachusetts Department of Environmental Protection

Bureau of Resource Protection - Wetlands

WPA Form 3 - Notice of Intent

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Provided by MassDEP:
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eDEP Transaction #:1931994
City/Town:MEDWAY

3. ☐ Separate MESA review completed.

Include copy of NHESP "no Take" determination or valid Conservation & Management Permit with approved plan.

* Some projects **not** in Estimated Habitat may be located in Priority Habitat, and require NHESP review...

2. For coastal projects only, is any portion of the proposed project located below the mean high waterline or in a fish run?

a. ☒ Not applicable - project is in inland resource area only

b. ☐ Yes ☐ No

If yes, include proof of mailing or hand delivery of NOI to either:

South Shore - Cohasset to Rhode Island, and the Cape & Islands:

North Shore - Hull to New Hampshire:

Division of Marine Fisheries -
Southeast Marine Fisheries Station
Attn: Environmental Reviewer
836 S. Rodney French Blvd
New Bedford, MA 02744

Division of Marine Fisheries -
North Shore Office
Attn: Environmental Reviewer
30 Emerson Avenue
Gloucester, MA 01930

If yes, it may require a Chapter 91 license. For coastal towns in the Northeast Region, please contact MassDEP's Boston Office.
For coastal towns in the Southeast Region, please contact MassDEP's Southeast Regional office.

3. Is any portion of the proposed project within an Area of Critical Environmental Concern (ACEC)?

a. ☐ Yes ☒ No

If yes, provide name of ACEC (see instructions to WPA Form 3 or DEP Website for ACEC locations). **Note:** electronic filers click on Website.

b. ACEC Name

4. Is any portion of the proposed project within an area designated as an Outstanding Resource Water (ORW) as designated in the Massachusetts Surface Water Quality Standards, 314 CMR 4.00?

a. ☐ Yes ☒ No

5. Is any portion of the site subject to a Wetlands Restriction Order under the Inland Wetlands Restriction Act (M.G.L.c. 131, § 40A) or the Coastal Wetlands Restriction Act (M.G.L.c. 130, § 105)?

a. ☐ Yes ☒ No

6. Is this project subject to provisions of the MassDEP Stormwater Management Standards?

a. ☒ Yes, Attach a copy of the Stormwater Report as required by the Stormwater Management Standards per 310 CMR 10.05(6)(k)-(q) and check if:

1. Applying for Low Impact Development (LID) site design credits (as described in Stormwater Management Handbook Vol.2, Chapter 3)

2. A portion of the site constitutes redevelopment

3. Proprietary BMPs are included in the Stormwater Management System

b. ☐ No, Explain why the project is exempt:

1. Single Family Home

2. Emergency Road Repair



Massachusetts Department of Environmental Protection

Bureau of Resource Protection - Wetlands

WPA Form 3 - Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:
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City/Town:MEDWAY

3. Small Residential Subdivision (less than or equal to 4 single-family houses or less than or equal to 4 units in multi-family housing project) with no discharge to Critical Areas.

D. Additional Information

Applicants must include the following with this Notice of Intent (NOI). See instructions for details.

Online Users: Attach the document transaction number (provided on your receipt page) for any of the following information you submit to the Department by regular mail delivery.

1. USGS or other map of the area (along with a narrative description, if necessary) containing sufficient information for the Conservation Commission and the Department to locate the site. (Electronic filers may omit this item.)
2. Plans identifying the location of proposed activities (including activities proposed to serve as a Bordering Vegetated Wetland [BVW] replication area or other mitigating measure) relative to the boundaries of each affected resource area.
3. Identify the method for BVW and other resource area boundary delineations (MassDEP BVW Field Data Form(s). Determination of Applicability, Order of Resource Area Delineation, etc.), and attach documentation of the methodology.
4. List the titles and dates for all plans and other materials submitted with this NOI.

a. Plan Title: b. Plan Prepared By: c. Plan Signed/Stamped By: c. Revised Final Date: e. Scale:

PERMIT SITE PLAN HANCOCK ASSOCIATES JOSEPH D PEZNOLA 08/15/25 1"=20'

5. If there is more than one property owner, please attach a list of these property owners not listed on this form.
6. Attach proof of mailing for Natural Heritage and Endangered Species Program, if needed.
7. Attach proof of mailing for Massachusetts Division of Marine Fisheries, if needed.
8. Attach NOI Wetland Fee Transmittal Form.
9. Attach Stormwater Report, if needed.



Massachusetts Department of Environmental Protection

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WPA Form 3 - Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:
MassDEP File #:
eDEP Transaction #:1931994
City/Town:MEDWAY

E. Fees

1.

Fee Exempt: No filing fee shall be assessed for projects of any city, town, county, or district of the Commonwealth, federally recognized Indian tribe housing authority, municipal housing authority, or the Massachusetts Bay Transportation Authority.

Applicants must submit the following information (in addition to pages 1 and 2 of the NOI Wetland Fee Transmittal Form) to confirm fee payment:

2. Municipal Check Number

3. Check date

4. State Check Number

5. Check date

6. Payer name on check: First Name

7. Payer name on check: Last Name

F. Signatures and Submittal Requirements

I hereby certify under the penalties of perjury that the foregoing Notice of Intent and accompanying plans, documents, and supporting data are true and complete to the best of my knowledge. I understand that the Conservation Commission will place notification of this Notice in a local newspaper at the expense of the applicant in accordance with the wetlands regulations, 310 CMR 10.05(5)(a).

I further certify under penalties of perjury that all abutters were notified of this application, pursuant to the requirements of M.G.L. c. 131, § 40. Notice must be made by Certificate of Mailing or in writing by hand delivery or certified mail (return receipt requested) to all abutters within 100 feet of the property line of the project location.

Steven Brody

9/18/2025

1. Signature of Applicant

2. Date

3. Signature of Property Owner(if different)

4. Date

David Cowell

9/18/2025

5. Signature of Representative (if any)

6. Date

For Conservation Commission:

Two copies of the completed Notice of Intent (Form 3), including supporting plans and documents, two copies of the NOI Wetland Fee Transmittal Form, and the city/town fee payment, to the Conservation Commission by certified mail or hand delivery.

For MassDEP:

One copy of the completed Notice of Intent (Form 3), including supporting plans and documents, one copy of the NOI Wetland Fee Transmittal Form, and a copy of the state fee payment to the MassDEP Regional Office (see Instructions) by certified mail or hand delivery.

Other:

If the applicant has checked the "yes" box in Section C, Items 1-3, above, refer to that section and the Instructions for additional submittal requirements.

The original and copies must be sent simultaneously. Failure by the applicant to send copies in a timely manner may result in dismissal of the Notice of Intent.



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands
WPA Form 3 - Notice of Wetland Fee Transmittal Form

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:
MassDEP File #:
eDEP Transaction #:1931994
City/Town:MEDWAY

A. Applicant Information

1. Applicant:

a. First Name	STEVEN	b. Last Name	BRODY
c. Organization			
d. Mailing Address	33 WEST STREET		
e. City/Town	MEDWAY	f. State	MA
g. Zip Code	02053	j. Email	village.limited@outlook.com
h. Phone Number	5088166700	i. Fax	

2. Property Owner:(if different)

a. First Name	STEVEN	b. Last Name	BRODY
c. Organization			
d. Mailing Address	33 WEST STREET		
e. City/Town	MEDWAY	f. State	MA
g. Zip Code	02053	j. Email	village.limited@outlook.com
h. Phone Number	5088166700	i. Fax	

3. Project Location:

a. Street Address	33 WEST STREET	b. City/Town	MEDWAY
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Are you exempted from Fee? ☐ (YOU HAVE SELECTED 'NO')

Note: Fee will be exempted if you are one of the following:

- City/Town/County/District
- Municipal Housing Authority
- Indian Tribe Housing Authority
- MBTA

State agencies are only exempt if the fee is less than \$100

B. Fees

Activity Type	Activity Number	Activity Fee	RF Multiplier	Sub Total
B.) EACH BUILDING (FOR DEVELOPMENT) INCLUDING SITE;	1	1050.00	RFA MULTIPLIER 1.5	1575.00
G.) EACH PROJECT SOURCE (STORM DRAIN) DISCHARGE;	2	500.00	RFA MULTIPLIER 1.5	1500.00
		City/Town share of filling fee	State share of filing fee	Total Project Fee
		\$1,550.00	\$1,525.00	\$3,075.00



Massachusetts Department of Environmental Protection
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WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

MassDEP File Number

Document Transaction Number

Medway
City/Town

F. Signatures and Submittal Requirements

I hereby certify under the penalties of perjury that the foregoing Notice of Intent and accompanying plans, documents, and supporting data are true and complete to the best of my knowledge. I understand that the Conservation Commission will place notification of this Notice in a local newspaper at the expense of the applicant in accordance with the wetlands regulations, 310 CMR 10.05(5)(a).

I further certify under penalties of perjury that all abutters were notified of this application, pursuant to the requirements of M.G.L. c. 131, § 40. Notice must be made by Certificate of Mailing or in writing by hand delivery or certified mail (return receipt requested) to all abutters within 100 feet of the property line of the project location.

1. Signature of Applicant

2. Date

3. Signature of Property Owner (if different)

4. Date

5. Signature of Representative (if any)

6. Date

For Conservation Commission:

Two copies of the completed Notice of Intent (Form 3), including supporting plans and documents, two copies of the NOI Wetland Fee Transmittal Form, and the city/town fee payment, to the Conservation Commission by certified mail or hand delivery.

For MassDEP:

One copy of the completed Notice of Intent (Form 3), including supporting plans and documents, one copy of the NOI Wetland Fee Transmittal Form, and a **copy** of the state fee payment to the MassDEP Regional Office (see Instructions) by certified mail or hand delivery.

Other:

If the applicant has checked the "yes" box in any part of Section C, Item 3, above, refer to that section and the Instructions for additional submittal requirements.

The original and copies must be sent simultaneously. Failure by the applicant to send copies in a timely manner may result in dismissal of the Notice of Intent.

HANCOCK ASSOCIATES

Surveyors | Engineers | Scientists

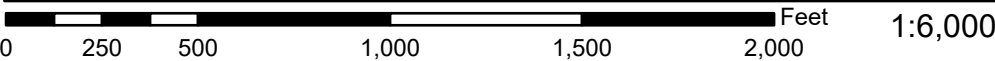
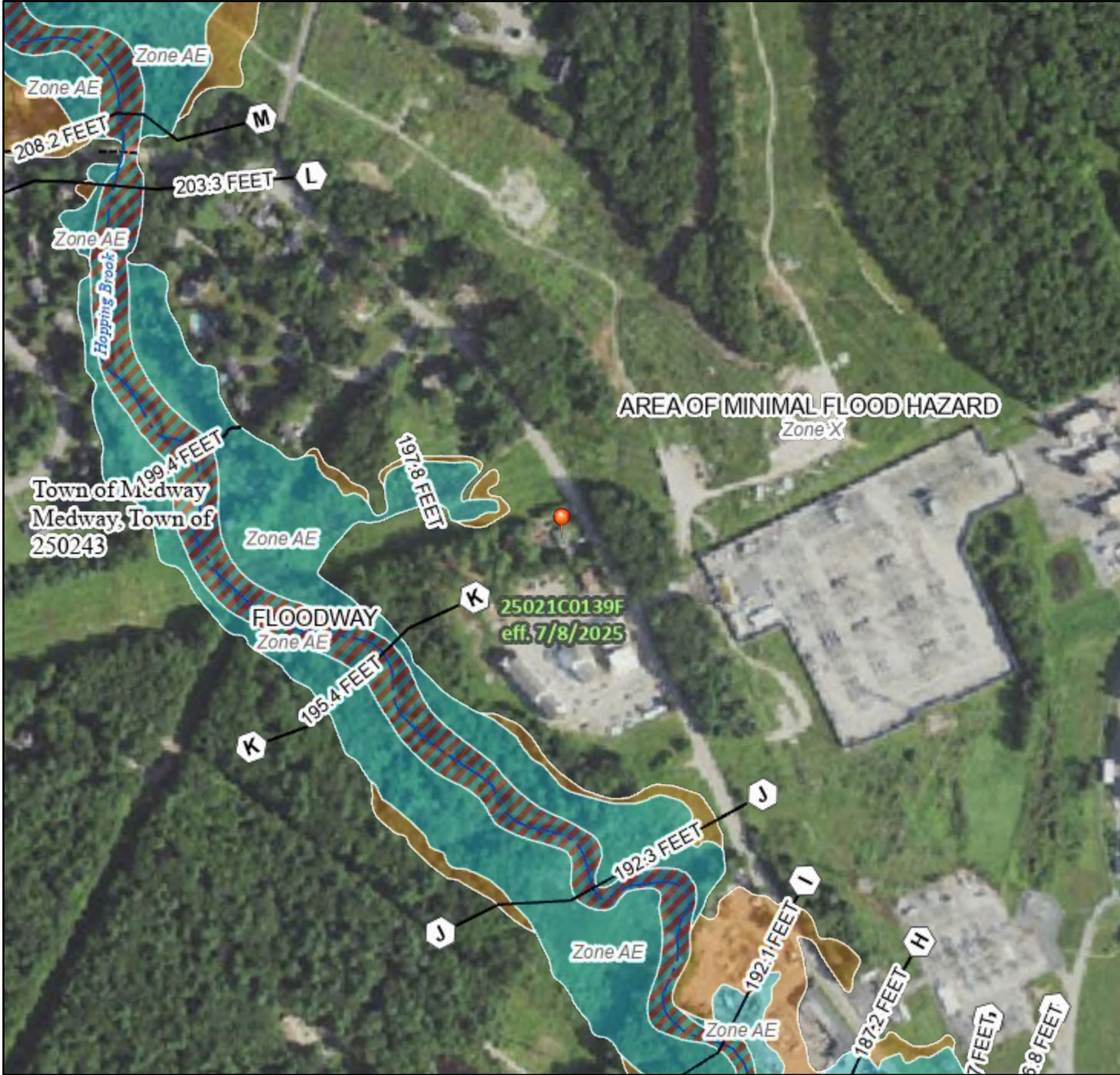
#25337

Attachment II – Figures

National Flood Hazard Layer FIRMMette



71°27'24"W 42°8'35"N



Basemap Imagery Source: USGS National Map 2023

Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

SPECIAL FLOOD HAZARD AREAS		Without Base Flood Elevation (BFE) Zone A, V, A99
		With BFE or Depth Zone AE, AO, AH, VE, AR
		Regulatory Floodway
OTHER AREAS OF FLOOD HAZARD		0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile Zone X
		Future Conditions 1% Annual Chance Flood Hazard Zone X
		Area with Reduced Flood Risk due to Levee. See Notes. Zone X
		Area with Flood Risk due to Levee Zone D
OTHER AREAS		NO SCREEN Area of Minimal Flood Hazard Zone X
		Effective LOMRs
GENERAL STRUCTURES		Area of Undetermined Flood Hazard Zone D
		Channel, Culvert, or Storm Sewer
		Levee, Dike, or Floodwall
OTHER FEATURES		20.2 Cross Sections with 1% Annual Chance Water Surface Elevation
		17.5 Water Surface Elevation
		Coastal Transect
		Base Flood Elevation Line (BFE)
		Limit of Study
MAP PANELS		Jurisdiction Boundary
		Coastal Transect Baseline
		Profile Baseline
		Hydrographic Feature
		Digital Data Available
		No Digital Data Available
		Unmapped



The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.

This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on 9/18/2025 at 1:20 PM and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.

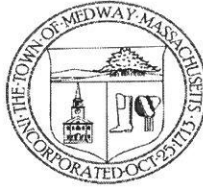
HANCOCK ASSOCIATES

Surveyors | Engineers | Scientists

#25337

Attachment III – Abutter Notification

Conservation Commission



155 VILLAGE STREET
MEDWAY, MASSACHUSETTS 02053
PHONE (508) 533-3292
bgraziano@medwayma.gov

"Please complete this form, sign at the bottom and return by mail or fax to the address indicated above."

Date:

I,

Steven Bizio
Name of Property Owner

hereby give the Medway Conservation Commission
and/or it's Agent permission

to enter my property in order to complete the site visit which is required for the review of one of the
following applications;

- ☒ Notice of Intent
☐ Request for Determination of Applicability
☐ Other _____

by the Medway Conservation Commission under Massachusetts General Laws, Ch. 131, sec. 40, and/or
under Medway General Bylaws, Article XXI and its regulation . The request is made by -

Steven Bizio, who is the applicant for this project and/or the rightful property owner.

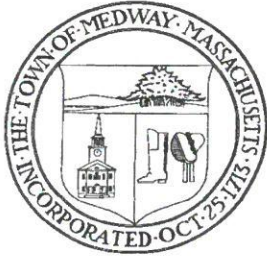
The request was submitted on: _____ for work at: _____
Date Received in Conservation Dept. Location / Address of where work will be done

Please be advised that you will be notified of the meeting date, once this application has been assigned to
a Conservation Meeting Agenda.

I am the: ☒ Property Owner

Steven Bizio
(Signature)

9/15/25
(Date)



TOWN OF MEDWAY
BOARD OF ASSESSORS
155 VILLAGE STREET
MEDWAY, MA 02053
PHONE: 508-533-3203 FAX: 508-321-4981
www.townofmedway.org

RECEIVED
AUG 11 2025
MEDWAY ASSESSORS
MEDWAY, MA 02053

REQUEST FOR ABUTTERS

Date of Request: 8/12/2025
Property owner: Steven Brody
Property location: 39 West Street
Parcel (property) ID(S): Map 55, Parcel 51 "55-051"

RECEIVED
AUG 12 2025
MEDWAY ASSESSORS
MEDWAY, MA 02053

Please specify: 100', 300' or 500' from subject parcel: 100'

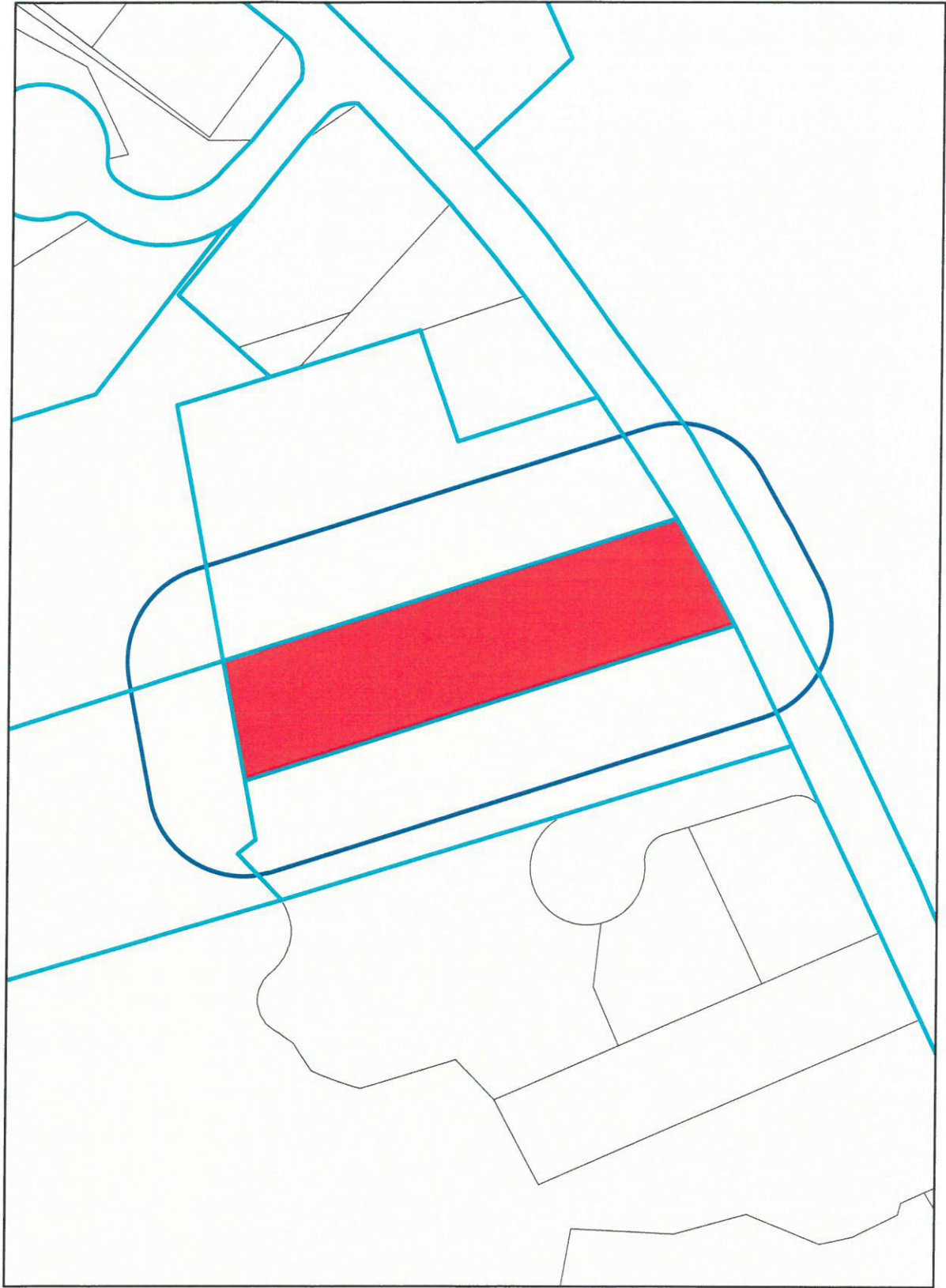
THIS LIST IS REQUESTED FOR:

☐ Planning & Economic Development Board
☐ Zoning Board of Appeals
☒ **Conservation Commission**
☐ Historical Commission

REQUESTER INFORMATION:

Name: Daniel Romero Email address: dromero@hancockassociates.com
Address: 315 Elm Street
Marlborough, MA 01752
Phone: 508-460-1111

THERE IS A FEE OF \$15.00 PER PARCEL DUE AT THE TIME OF REQUEST. THE LIST IS VALID FOR 90 DATE OF CERTIFICATION DATE. THE BOARD OF ASSESSORS RESERVES 10 WORKING DAYS TO PROVIDE ALL CERTIFIED LISTS OF ABUTTERS. ***IF YOU WISH TO HAVE THE LISTS MAILED BACK TO YOU, YOU MUST PROVIDE A SELF ADDRESSED STAMPED ENVELOPE LARGE ENOUGH FOR THREE SETS OF LABELS.***



41 WEST ST 55-050
BOSTON EDISON CO LUC: 423
NSTAR SERVICES CO/PROP TAX DEP
PO BOX 270
HARTFORD. CT 06141-0270

45 WEST ST 55-052
BOSTON EDISON CO LUC: 423
NSTAR SERVICES CO/PROP TAX DEP
PO BOX 270
HARTFORD. CT 06141-0270

41 R WEST ST 65-023
BRODY STEVEN GREGORY LUC: 132
39 WEST ST
MEDWAY. MA 02053

39 WEST ST 55-051
BRODY STEVEN GREGORY LUC: 101
39 WEST STREET
MEDWAY. MA 02053

34 WEST ST 66-012
CONSTELLATION WEST MEDWAY LLC LUC: 423
PO BOX 340014
NASHVILLE. TN 37203

37 WEST ST 65-024
GBW SENIOR APARTMENTS LLC LUC: 112
3 GLEN BROOK WAY
MEDWAY. MA 02053



THIS IS A CERTIFIED ABUTTERS LIST FROM THE TOWN OF MEDWAY.
WE CERTIFY THAT AT TIME OF LAST ASSESSMENT, THE NAMES AND
ADDRESSES OF ALL PROPERTY OWNERS, ARE ACCURATE.

Shirley Rive 8/13/25
Office of the Board of Assessors Date

41 WEST ST 55-050
BOSTON EDISON CO LUC: 423
NSTAR SERVICES CO/PROP TAX DEP
PO BOX 270
HARTFORD. CT 06141-0270

45 WEST ST 55-052
BOSTON EDISON CO LUC: 423
NSTAR SERVICES CO/PROP TAX DEP
PO BOX 270
HARTFORD. CT 06141-0270

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BRODY STEVEN GREGORY LUC: 132
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MEDWAY. MA 02053

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BRODY STEVEN GREGORY LUC: 101
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NASHVILLE. TN 37203

37 WEST ST 65-024
GBW SENIOR APARTMENTS LLC LUC: 112
3 GLEN BROOK WAY
MEDWAY. MA 02053

Etiquettes d'adresse Easy Peel[®]
Replier à la hachure afin de révéler le rebord Pop-up[®]

Pat: avery.com/patents

Notification to Abutters

By Hand Delivery, Certified Mail (return receipt requested), or Certificates of Mailing

This is a notification required by law. You are receiving this notification because you have been identified as the owner of land abutting another parcel of land for which certain activities are proposed. Those activities require a permit under the Massachusetts Wetlands Protection Act (M.G.L. c. 131, § 40).

In accordance with the second paragraph of the Massachusetts Wetlands Protection Act, and 310 CMR 10.05(4)(a) of the Wetlands Regulations, you are hereby notified that:

- A. A Notice of Intent was filed with the Medway Conservation Commission on September 18, 2025 seeking permission to remove, fill, dredge, or alter an area subject to protection under M.G.L. c. 131 §40. The following is a description of the proposed activity/activities:

Construction of a 24-unit two-story residential condominium building with parking at 39 West Street in Medway within buffer zones to jurisdictional resource areas.

- B. The name of the applicant is: Steven Brody.
- C. The address of the land where the activity is proposed is: 39 West Street, Medway (Map 55, Parcel 51)
- D. Copies of the Notice of Intent may be examined or obtained at the office of the Medway Conservation Commission, located at 155 Village Street, Medway. The regular business hours of the Commission are Monday 8:00 AM to 5:30 PM, Tuesday/Wednesday/Thursday 8:00 AM to 4:30 PM, and Friday 8:00 AM to 12:00 PM and the Commission may be reached at 508-533-3292.
- E. Copies of the Notice of Intent may be obtained from the representative by calling Hancock Associates at 978-777-3050. An administrative fee may be applied for providing copies of the NOI and plans.
- F. Information regarding the date, time, and location of the public hearing regarding the Notice of Intent may be obtained from the Medway Conservation Commission. Notice of the public hearing will be published at least five business days in advance.

Notification provided pursuant to the above requirement does not automatically confer standing to the recipient to request Departmental Action for the underlying matter. See 310 CMR 10.05(7)(a)4.

HANCOCK ASSOCIATES

Surveyors | Engineers | Scientists

#25337

Attachment IV – Filing Fees

STEVEN BRODY

39 WEST ST.
MEDWAY, MA 02053-2231

88-221/1212

130

Date

9/15/25

Pay to the
Order of

Harcourt Associates

\$ 1753 75

See Bank Secured and fifty three Dollars

Heat
Reactive
Ink



Charles Schwab Bank, SSB
Westlake, TX

Schwab Bank Investor Checking™

For

No1

MP

LOOK FOR FRAUD-DETECTING FEATURES INCLUDING THE SECURITY SQUARE AND HEAT-REACTIVE INK. DETAILS ON BACK.

STEVEN BRODY

39 WEST ST.
MEDWAY, MA 02053-2231

88-221/1212

131

Date

8/15/25

Pay to the
Order of

Town of Medway

\$ 6000 00

Six thousand Dollars

Heat
Reactive
Ink



Charles Schwab Bank, SSB
Westlake, TX

Schwab Bank Investor Checking™

For

MP

LOOK FOR FRAUD-DETECTING FEATURES INCLUDING THE SECURITY SQUARE AND HEAT-REACTIVE INK. DETAILS ON BACK.

STEVEN BRODY

39 WEST ST.
MEDWAY, MA 02053-2231

88-221/1212

132

Date

9/15/25

Pay to the
Order of

Town of Medway

\$ 1550 00

one thousand five hundred and fifty Dollars

Heat
Reactive
Ink



Charles Schwab Bank, SSB
Westlake, TX

Schwab Bank Investor Checking™

For

MP

LOOK FOR FRAUD-DETECTING FEATURES INCLUDING THE SECURITY SQUARE AND HEAT-REACTIVE INK. DETAILS ON BACK.

HANCOCK ASSOCIATES

Surveyors | Engineers | Scientists

#25337

Attachment V – Permit Site Plan

PERMIT SITE PLAN

39 WEST STREET
MEDWAY, MASSACHUSETTS 02053

FOR
STEVEN BRODY

PROJECT TEAM

**CIVIL ENGINEERS/
LAND SURVEYORS:**

HANCOCK ASSOCIATES, INC.
315 ELM STREET
MARLBOROUGH, MASSACHUSETTS 01752

ARCHITECTS:

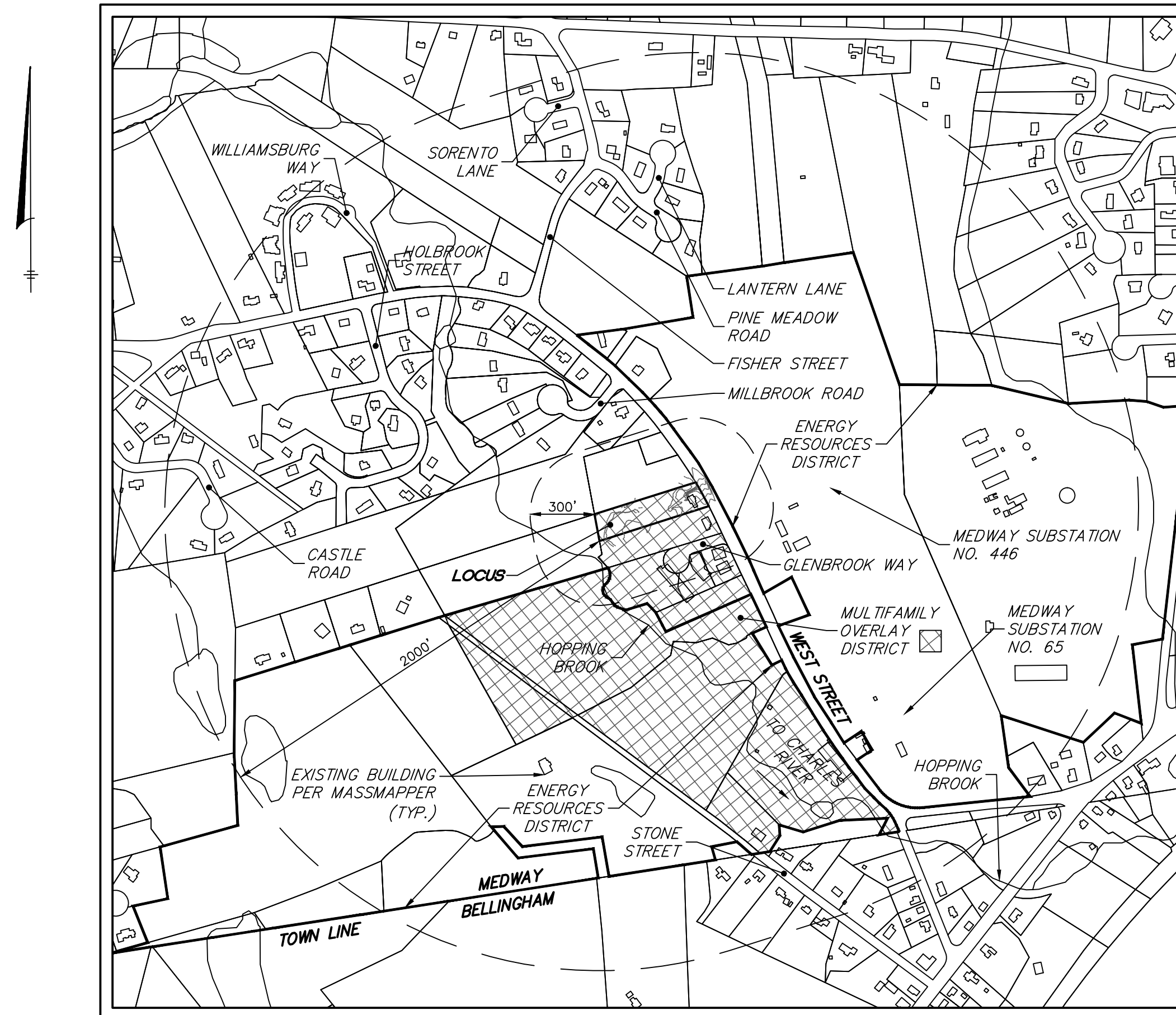
COLWELL GROUP
132 CENTRAL STREET, SUITE 203
FOXBOROUGH, MASSACHUSETTS 02035

LANDSCAPE ARCHITECTS:

JAMES K. EMMANUEL ASSOCIATES
22 CARLTON ROAD
MARBLEHEAD, MASSACHUSETTS 01945

OWNER/APPLICANT:

STEVEN GREGORY BRODY
39 WEST STREET
MEDWAY, MASSACHUSETTS 02053



LOCUS PLAN

SCALE: 1"=500'

SHEET INDEX

SHEET 1.....	TITLE SHEET
SHEET 2.....	NOTES, REFERENCES & LEGEND
SHEET 3.....	EXISTING CONDITIONS PLAN
SHEET 4.....	DEMOLITION, EROSION, AND SEDIMENT CONTROL PLAN
SHEET 5.....	LAYOUT & MATERIALS PLAN
SHEET 6.....	GRADING & DRAINAGE PLAN
SHEET 7.....	UTILITY PLAN
SHEET 8.....	LANDSCAPE PLAN
SHEET 9.....	LIGHTING PLAN
SHEET 10.....	SWEPT PATH ANALYSIS
SHEET 11-13.....	DETAIL SHEETS

300' ABUTTERS LIST

WEST STREET
 #45 WEST STREET – MAP 55, PARCEL 48
 OWNER: BOSTON EDISON CO, NSTAR SERVICES CO/PROP TAX DEP
 #45 WEST STREET – MAP 55, PARCEL 47
 OWNER: BOSTON EDISON CO, NSTAR SERVICES CO/PROP TAX DEP
 #45 WEST STREET – MAP 55, PARCEL 52
 OWNER: BOSTON EDISON CO, NSTAR SERVICES CO/PROP TAX DEP
 #43 WEST STREET – MAP 55, PARCEL 49
 OWNER: BOSTON EDISON CO, NSTAR SERVICES CO/PROP TAX DEP
 #41R WEST STREET – MAP 65, PARCEL 23
 OWNER: ROCHE'S BUILDING CO., INC. C/O THOMAS J ROCHE
 #41 WEST STREET – MAP 55, PARCEL 50
 OWNER: BOSTON EDISON CO, NSTAR SERVICES CO/PROP TAX DEP
 #29 WEST STREET – MAP 65, PARCEL 27
 OWNER: NEW ENGLAND POWER COMPANY, PROPERTY TAX DEPT.
 #37 WEST STREET – MAP 65, PARCEL 24
 OWNER: GBW SENIOR APARTMENTS LLC
 #33 WEST STREET – MAP 66, PARCEL 1
 OWNER: GLEN BROOK WAY APARTMENTS LLC, ATTN: MANAGEMENT OFFICE
 #33 WEST STREET – MAP 66, PARCEL 2
 OWNER: GLEN BROOK WAY APARTMENTS LLC
 #34 WEST STREET – MAP 66, PARCEL 12
 OWNER: CONSTELLATION WEST MEDWAY LLC

PERMIT SITE PLAN

39 West Street
Medway, MA 02053

ASSESSORS:

<u>MAP</u>	<u>PARCEL</u>
55	51

PREPARED FOR:

STEVEN G.
BRODY

39 West Street
Medway, MA 02053

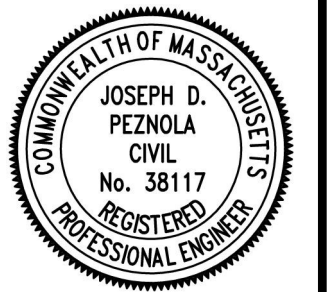
HANCOCK
ASSOCIATES

Civil Engineers

Land Surveyors

Wetland Scientists

315 ELM STREET, MARLBOROUGH, MA 01752
VOICE (508) 460-1111, FAX (508) 460-1121
WWW.HANCOCKASSOCIATES.COM



NO.	BY	APP	DATE	ISSUE/REVISION DESCRIPTION
DATE:			8/15/25	DESIGN BY: DJR
SCALE:	AS NOTED			DRAWN BY: DJR
APPRVD. BY:		JP		CHECK BY: BGG

TITLE SHEET

PLOT DATE: Aug 15, 2025 8:17 am
PATH: K:\WORK\ISA\CHM 3D Projects\203378 - Brody - Medway\Eng\DWG\

DWG: 25337SP.dwg

LAYOUT: 1TS

SHEET: 1 OF 13

PROJECT NO.:

S

25337

1. THE INTENT OF THIS PLAN IS TO SHOW A 24-UNIT RESIDENTIAL LAND DEVELOPMENT.
2. SAID PROPERTY IS LOCATED WITHIN THE MULTIFAMILY OVERLAY DISTRICT. THE PROPOSED DEVELOPMENT IS INTENDED TO FOLLOW THE DESIGN GUIDELINES OUTLINED IN SECTION 7 OF THE TOWN OF MEDWAY ZONING BYLAW.

AGRICULTURAL RESIDENTIAL (AR-2)
MULTIFAMILY OVERLAY DISTRICT (MOD)

MAP 55, LOT 51

DEED BOOK 37060, PAGE 585
PLAN 284 OF 1951
PLAN 934 OF 1969
LAND COURT PLAN 12715C
1929 LAYOUT OF WEST STREET

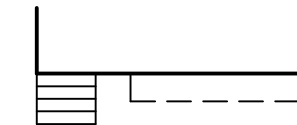
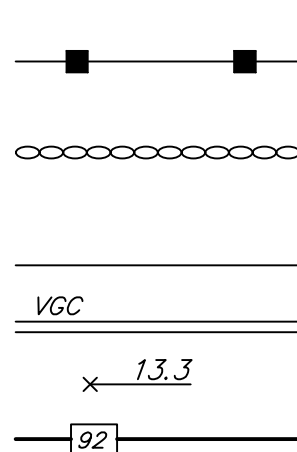
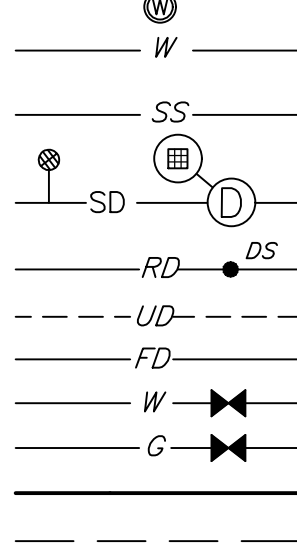
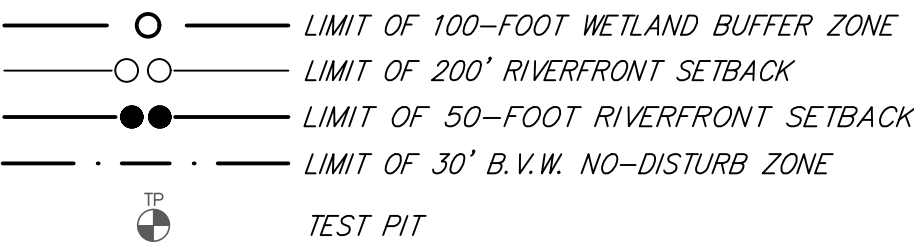
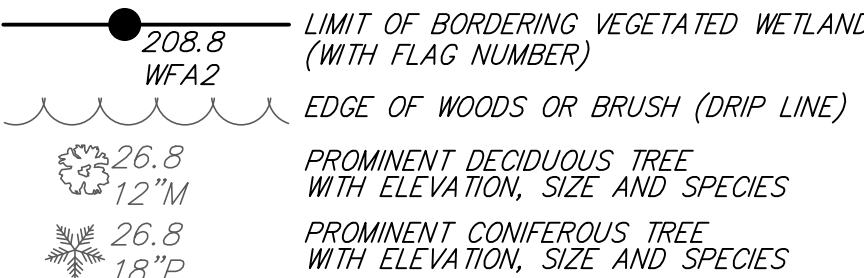
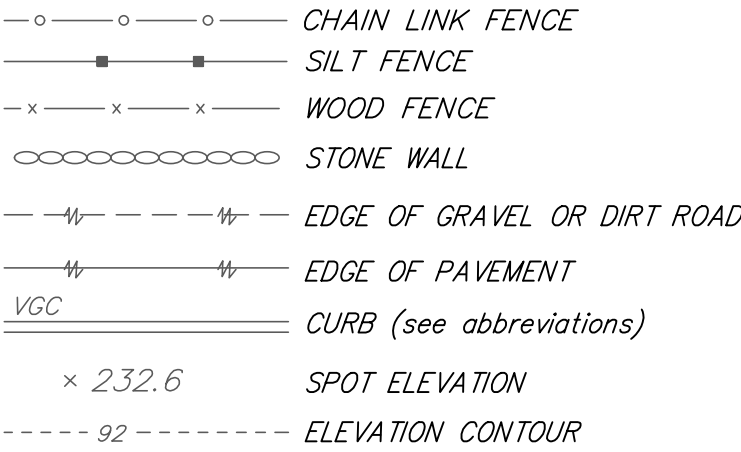
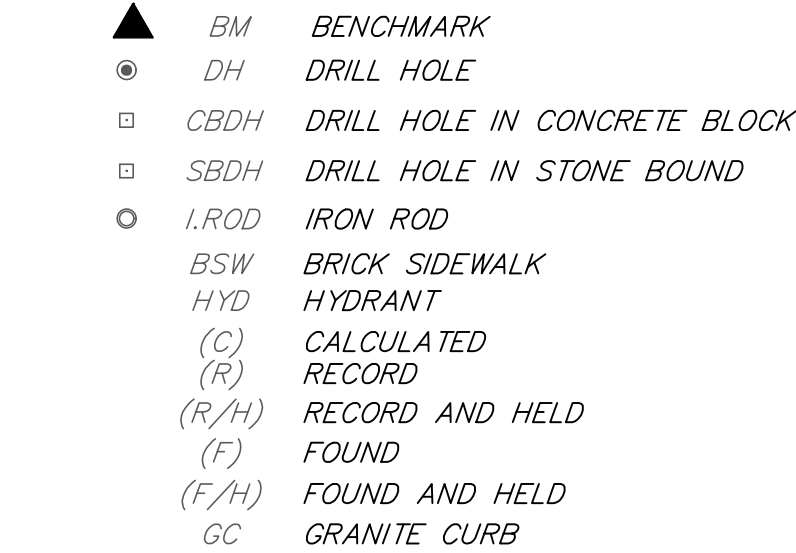
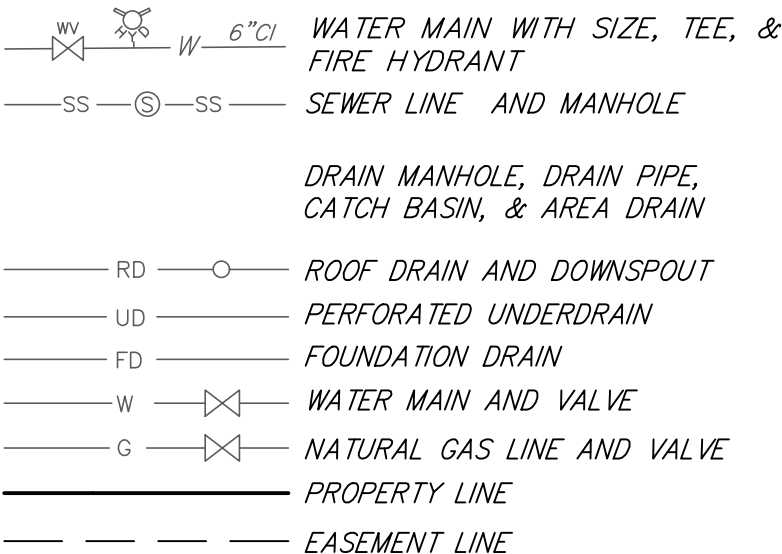
STEVEN GREGORY BRODY
39 WEST STREET
MEDWAY, MA 02053

- 1) THE VERTICAL DATUM FOR THIS SURVEY IS THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAV88). SAID DATUM WAS ESTABLISHED VIA GPS OBSERVATIONS UTILIZING NAD83 (NA2011) EPOCH 2010.00 (MYCS2) AND GEOID 18.
- 2) UNDERGROUND UTILITIES SHOWN HEREON ARE COMPILED FROM FIELD LOCATIONS OF STRUCTURES AND FROM AVAILABLE RECORD INFORMATION ON FILE AT THE TOWN ENGINEERING OFFICES, TOWN D.P.W., MASS HIGHWAY DEPT. AND UTILITY COMPANIES. OTHER UNDERGROUND UTILITIES MAY EXIST. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LOCATION, SIZE & ELEVATION OF ALL UTILITIES WITHIN THE AREA OF PROPOSED WORK AND TO CONTACT "DIG-SAFE" AT 1-888-344-7233 AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION, DEMOLITION OR CONSTRUCTION.
- 3) THE LOCATION OF UNDERGROUND STORAGE TANKS, IF ANY, ARE UNKNOWN.
- 4) THIS TOPOGRAPHIC SURVEY WAS PREPARED TO MEET NATIONAL MAP ACCURACY STANDARDS AT A SCALE OF 1"=20' HORIZONTALLY AND A 1 FOOT CONTOUR INTERVAL VERTICALLY. ANY REPRODUCTIONS OR RE-SCALING MAY EFFECT THE MAP ACCURACY.
- 5) WETLAND AND RIVERFRONT FLAGS SHOWN HEREON DELINEATED BY THREE OAKS ENVIRONMENTAL AND FIELD LOCATED BY HANCOCK ASSOCIATES.

1. LOCATIONS OF EXISTING UNDERGROUND UTILITIES/OBSTRUCTIONS/SYSTEMS SHOWN HEREON ARE APPROXIMATE ONLY. ALL UTILITIES/OBSTRUCTIONS/SYSTEMS MAY NOT BE SHOWN. CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND PROTECTING ALL UNDERGROUND UTILITIES/OBSTRUCTIONS/SYSTEMS, WHETHER OR NOT SHOWN HEREON.
2. UNLESS OTHERWISE SHOWN, ALL NEW UTILITIES SHALL BE UNDERGROUND.
3. CONTRACTOR SHALL FURNISH CONSTRUCTION LAYOUT OF BUILDING AND SITE IMPROVEMENTS. THIS WORK SHALL BE PERFORMED BY A PROFESSIONAL LAND SURVEYOR.
4. SAFETY MEASURES, CONSTRUCTION METHODS AND CONTROL OF WORK SHALL BE RESPONSIBILITY OF CONTRACTOR.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIR AND/OR REPLACEMENT OF ANY EXISTING IMPROVEMENTS DAMAGED DURING CONSTRUCTION THAT ARE NOT DESIGNATED FOR DEMOLITION AND/OR REMOVAL HEREON. DAMAGED IMPROVEMENTS SHALL BE REPAIRED TO THE SATISFACTION OF THEIR RESPECTIVE OWNERS.
6. THIS PLAN IS NOT INTENDED TO SHOW AN ENGINEERED BUILDING FOUNDATION DESIGN, WHICH WOULD INCLUDE DETAILS AND FINAL ELEVATIONS OF FOOTINGS, WALLS AND SUBSURFACE DRAINAGE TO PREVENT INTERIOR FLOODING. SEE ARCHITECTURAL AND/OR STRUCTURAL DRAWINGS.
7. ANY INTENDED REVISION OF THE HORIZONTAL AND/OR VERTICAL LOCATION OF IMPROVEMENTS TO BE CONSTRUCTED AS SHOWN HEREON SHALL BE REVIEWED AND APPROVED BY ENGINEER PRIOR TO IMPLEMENTATION.
8. RIM ELEVATIONS SHOWN FOR NEW STRUCTURES ARE APPROXIMATE AND ARE PROVIDED TO ASSIST CONTRACTOR WITH MATERIAL TAKEOFFS. FINISH RIM ELEVATIONS SHOULD MATCH PAVEMENT, GRADING OR LANDSCAPING, UNLESS SPECIFICALLY INDICATED OTHERWISE.
9. WHERE EXISTING UTILITY LINES/STRUCTURES ARE TO BE CUT/BROKEN DOWN/ABANDONED, LINES/STRUCTURES SHALL BE PLUGGED/CAPPED/FILLED IN ACCORDANCE WITH OWNER REQUIREMENTS.
10. THE CONTRACTOR SHALL VERIFY THE LOCATION AND RELATIVE ELEVATION OF BENCH MARKS PRIOR TO COMMENCEMENT OF CONSTRUCTION. ANY DISCREPANCY SHALL BE REPORTED TO THE ENGINEER.
11. PROPOSED BUILDING FOUNDATION CONFIGURATION AND LOCATION ON THE LOT AS SHOWN ARE CONCEPTUAL AND SHALL BE VERIFIED AS TO CONFORMANCE WITH FINAL ARCHITECTURAL PLANS AND ZONING ORDINANCES PRIOR TO CONSTRUCTION.
12. SILT FENCE SHOWN HEREON SHALL BE INSTALLED BEFORE ANY EARTH OR TREE DISTURBANCE OCCURS.

1. CONTRACTOR SHALL CONTACT DIG-SAFE FOR UNDERGROUND UTILITY MARKING AT 1-888-344-7233 AT LEAST 72 HOURS PRIOR TO COMMENCEMENT OF ANY WORK.
2. CONTRACTOR SHALL MAKE HIMSELF AWARE OF ALL CONSTRUCTION REQUIREMENTS, CONDITIONS, AND LIMITATIONS IMPOSED BY PERMITS AND APPROVALS ISSUED BY REGULATORY AUTHORITIES PRIOR TO COMMENCEMENT OF ANY WORK. CONTRACTOR SHALL COORDINATE AND OBTAIN ALL CONSTRUCTION PERMITS REQUIRED BY REGULATORY AUTHORITIES.
3. ALL WORK OUTSIDE OF BUILDING THAT IS LESS THAN 10 FEET FROM THE INSIDE FACE OF BUILDING FOUNDATIONS SHALL CONFORM WITH THE UNIFORM STATE PLUMBING CODE OF MASSACHUSETTS, 248 CMR 2.00.

EXISTING



ICC	INTEGRAL CONCRETE CURE
VGC	VERTICAL GRANITE CURB
SL	STOP LINE/STOP BAR
C.O.	CLEANOUT
RD	ROOF DRAIN
EV	ELECTRIC VEHICLE
EVR	ELECTRIC VEHICLE READY

PERMIT SITE PLAN

39 West Street
Medway, MA 02053

ASSESSORS

<u>MAP</u>	<u>PARCEL</u>
55	51

PREPARED FOR

STEVEN G.
BRODY

39 West Street
Medway, MA 02053

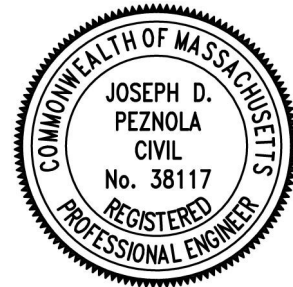
HANCOCK
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Civil Engineers

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Wetland Scientists

315 ELM STREET, MARLBOROUGH, MA 01752
VOICE (508) 460-1111, FAX (508) 460-1121
WWW.HANCOCKASSOCIATES.COM

[illegible]

NO.	BY	APP	DATE	ISSUE/REVISION	DESCRIPTION
DATE:		8/15/25		DESIGN BY:	DJH
SCALE:		AS NOTED		DRAWN BY:	DJH
APPRVD. BY:		JP		CHECK BY:	BG

NOTES, REFERENCES, AND LEGEND

PLOT DATE: Aug 15, 2025 8:17 am
PATH: y:\w\HSA\CHL 3D Projects\253378 - Brady - Medway\Eno\CHL

DWG: 25337SP.dwg

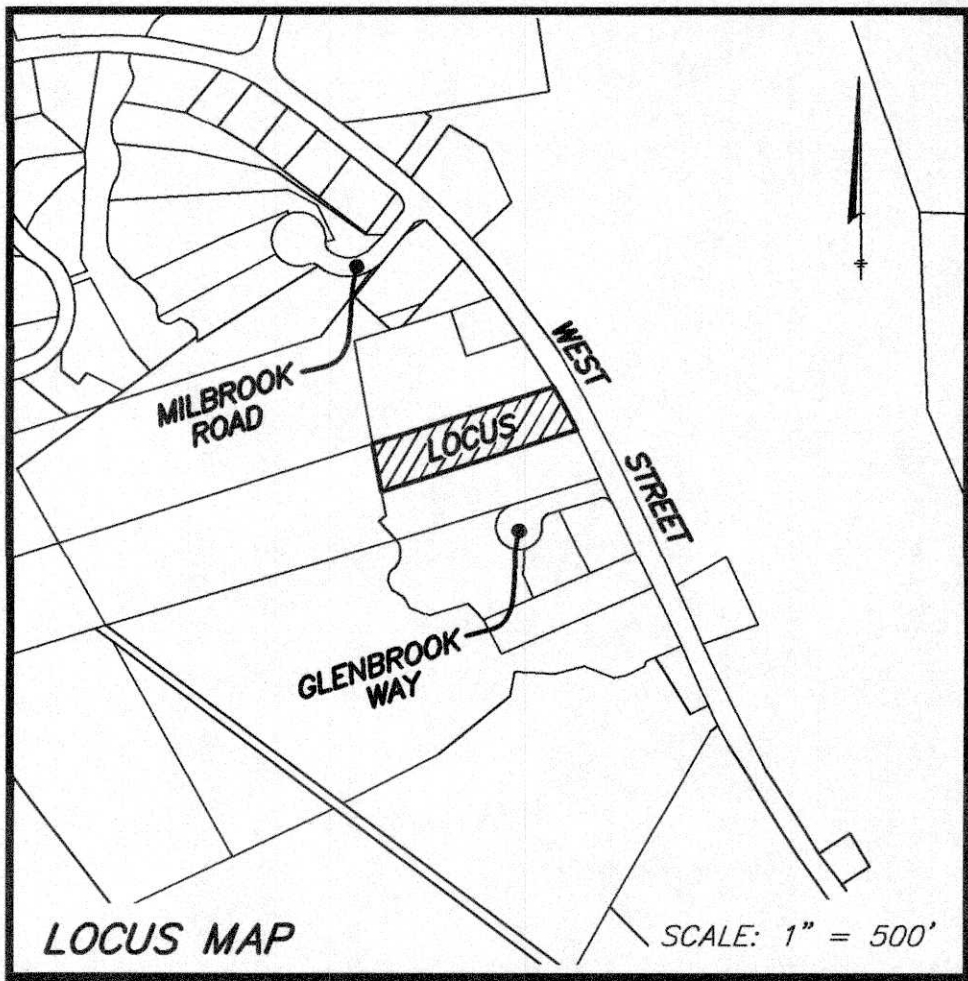
LAYOUT: 2NRL

SHEET: 2 OF 13

PROJECT NO.:

RL

25337



ASSESSORS:

MAP 55, LOT 51

ZONING:

AGRICULTURAL RESIDENTIAL AR-2

REFERENCES:

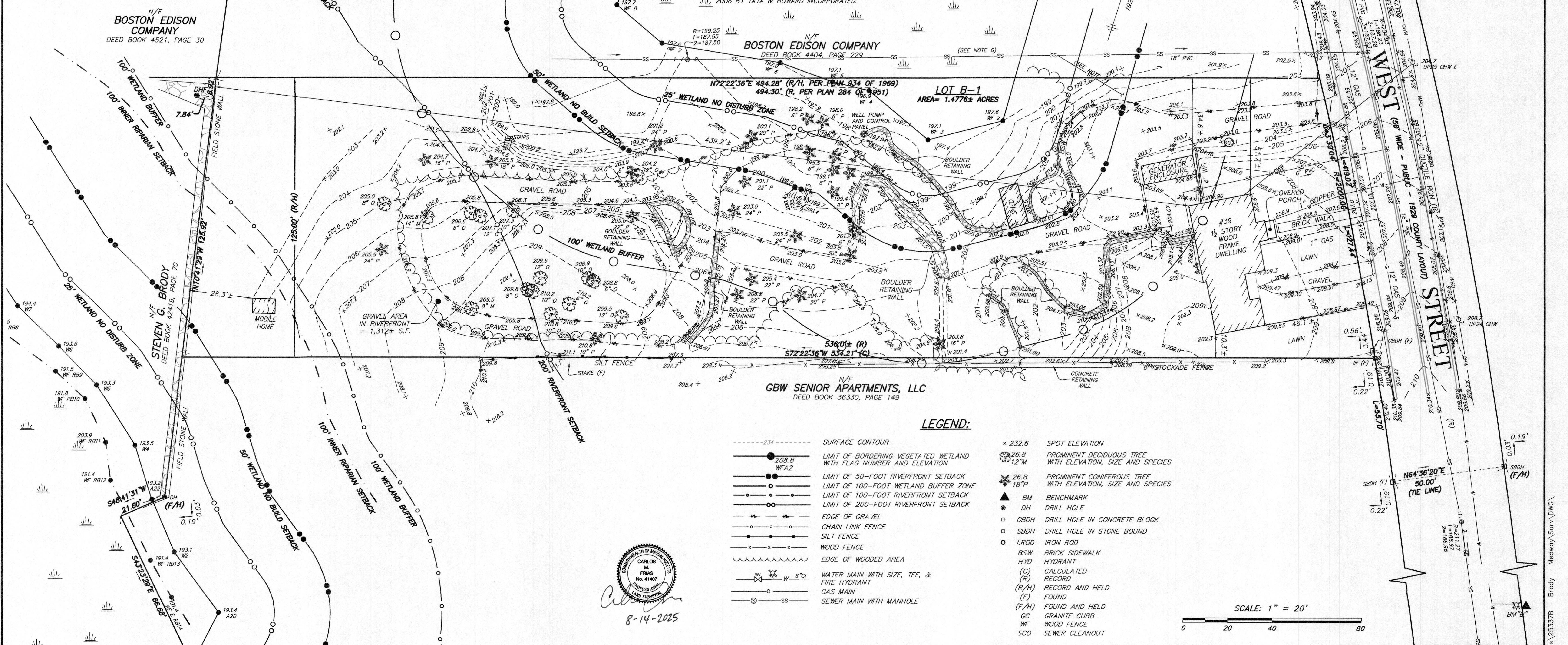
DEED BOOK 37060, PAGE 585
PLAN 284 OF 1951
PLAN 934 OF 1969
LAND COURT PLAN 12715C
1929 LAYOUT OF WEST STREET

RECORD OWNER:

STEVEN GREGORY BRODY
39 WEST STREET
MEDWAY, MA 02053

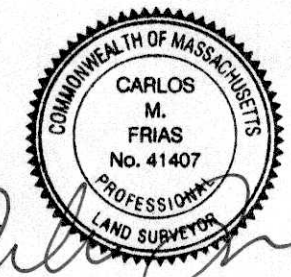
NOTES:

- 1) THE VERTICAL DATUM FOR THIS SURVEY IS THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVDB88). SAID DATUM WAS ESTABLISHED VIA GPS OBSERVATIONS UTILIZING NAD83 (NA2011) EPOCH 2010.00 (MYCS2) AND GEOID 18.
- 2) UNDERGROUND UTILITIES SHOWN HEREON ARE COMPILED FROM FIELD LOCATIONS OF STRUCTURES AND FROM AVAILABLE RECORD INFORMATION ON FILE AT THE TOWN ENGINEERING OFFICES, TOWN D.P.W., MASS HIGHWAY DEPT. AND UTILITY COMPANIES. OTHER UNDERGROUND UTILITIES MAY EXIST. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LOCATION, SIZE & ELEVATION OF ALL UTILITIES WITHIN THE AREA OF PROPOSED WORK AND TO CONTACT "DIG-SAFE" AT 1-888-344-7233 AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION, DEMOLITION OR CONSTRUCTION.
- 3) THE LOCATION OF UNDERGROUND STORAGE TANKS, IF ANY, ARE UNKNOWN.
- 4) THIS TOPOGRAPHIC SURVEY WAS PREPARED TO MEET NATIONAL MAP ACCURACY STANDARDS AT A SCALE OF 1"=20' HORIZONTALLY AND A 1 FOOT CONTOUR INTERVAL VERTICALLY. ANY REPRODUCTIONS OR RE-SCALING MAY EFFECT THE MAP ACCURACY.
- 5) WETLAND AND RIVERFRONT FLAGS SHOWN HEREON DELINEATED BY THREE OAKS ENVIRONMENTAL AND FIELD LOCATED BY HANCOCK ASSOCIATES.
- 6) AS OF DATE OF THIS PLAN, NO EASEMENT OF RECORD HAS BEEN FOUND AT THE NORFOLK COUNTY REGISTRY OF DEEDS OR WITH THE TOWN OF MEDWAY FOR THE EXISTING SEWER LINE (ON BOSTON EDISON COMPANY PARCEL) NORTH OF THE SURVEYED PROPERTY.
- 7) SEWER LINE SHOWN PER TIES ON A PLAN SUPPLIED TO THIS OFFICE BY MEDWAY DPW ENTITLED MEDWAY INDUSTRIAL PARK SEWER EXTENSION, SHEET C-9, REVISED THROUGH MAY 2, 2008 BY TATA & HOWARD INCORPORATED.

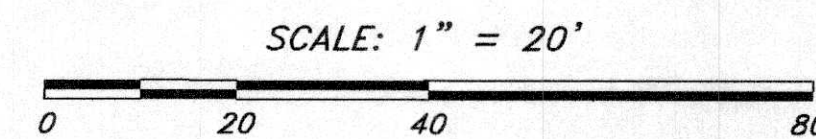


LEGEND:

- | | | | |
|---------------|---|--------------|--|
| --- 2.34 --- | SURFACE CONTOUR | x 232.6 | SPOT ELEVATION |
| ● 208.8 WFA2 | LIMIT OF BORDERING VEGETATED WETLAND WITH FLAG NUMBER AND ELEVATION | ● 26.8 12" M | PROMINENT DECIDUOUS TREE WITH ELEVATION, SIZE AND SPECIES |
| --- 208.8 --- | LIMIT OF 50-FOOT RIVERFRONT SETBACK | ● 26.8 18" P | PROMINENT CONIFEROUS TREE WITH ELEVATION, SIZE AND SPECIES |
| --- 208.8 --- | LIMIT OF 100-FOOT WETLAND BUFFER ZONE | ▲ BM | BENCHMARK |
| --- 208.8 --- | LIMIT OF 100-FOOT RIVERFRONT SETBACK | ○ DH | DRILL HOLE |
| --- 208.8 --- | LIMIT OF 200-FOOT RIVERFRONT SETBACK | □ CB0H | DRILL HOLE IN CONCRETE BLOCK |
| --- 208.8 --- | EDGE OF GRAVEL | □ SBDH | DRILL HOLE IN STONE BOUND |
| --- 208.8 --- | CHAIN LINK FENCE | ○ I.ROD | IRON ROD |
| --- 208.8 --- | SILT FENCE | ○ BSW | BRICK SIDEWALK |
| --- 208.8 --- | WOOD FENCE | ○ HYD | HYDRANT |
| --- 208.8 --- | EDGE OF WOODED AREA | (C) | CALCULATED RECORD |
| --- 208.8 --- | WATER MAIN WITH SIZE, TEE, & FIRE HYDRANT | (R/H) | RECORD AND HELD |
| --- 208.8 --- | GAS MAIN | (F) | FOUND |
| --- 208.8 --- | SEWER MAIN WITH MANHOLE | (F/H) | FOUND AND HELD |
| --- 208.8 --- | | GC | GRANITE CURB |
| --- 208.8 --- | | WF | WOOD FENCE |
| --- 208.8 --- | | SCO | SEWER CLEANOUT |



8-14-2025



ELEVATION BENCH MARKS		
▲ DATUM: SEE NOTE 1		
NO.	DESCRIPTION	ELEV.
A.	PUNCH MARK ON BOLT OVER MAIN OPENING OF HYD	205.93
B.	TOP OF HYDRANT SPINDLE	212.45

NO.	BY	APP	DATE	ISSUE/REVISION DESCRIPTION
1	CME	CMF	8/1/25	UPDATE TOPO, UTILITY AND SEWER INVERTS
1	CME	CMF	4/28/25	REVISE WETLAND AND RIVERFRONT FLAGS PER MEDWAY CONSERVATION COMMISSION

HANCOCK ASSOCIATES
Civil Engineers Land Surveyors
Wetland Scientists

315 ELM STREET, MARLBOROUGH, MA 01752
VOICE (508) 460-1111, FAX (508) 460-1121
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PREPARED FOR:

STEVEN BRODY

39 West Street
Medway, Massachusetts 02053

SITE ADDRESS:

#39 WEST STREET

Medway, Massachusetts 02053

PLAN TITLE:

**EXISTING CONDITIONS
PLAN OF LAND
IN
MEDWAY, MA**

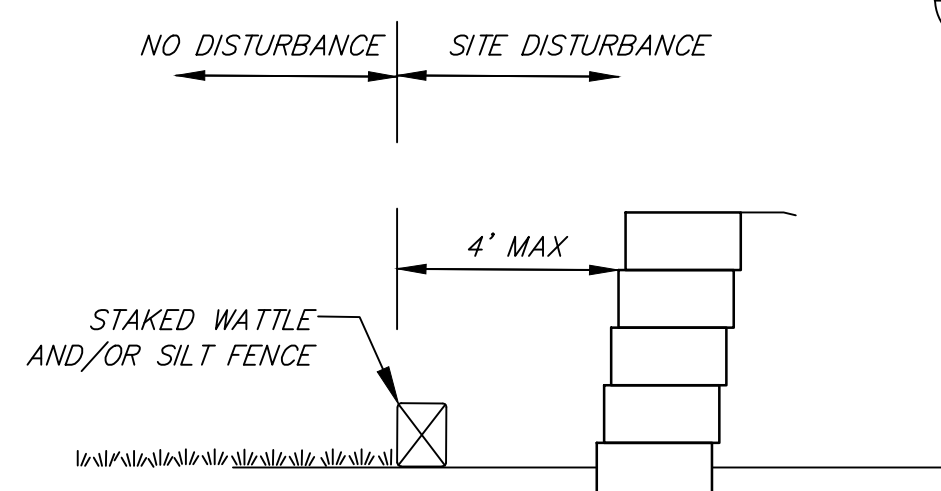
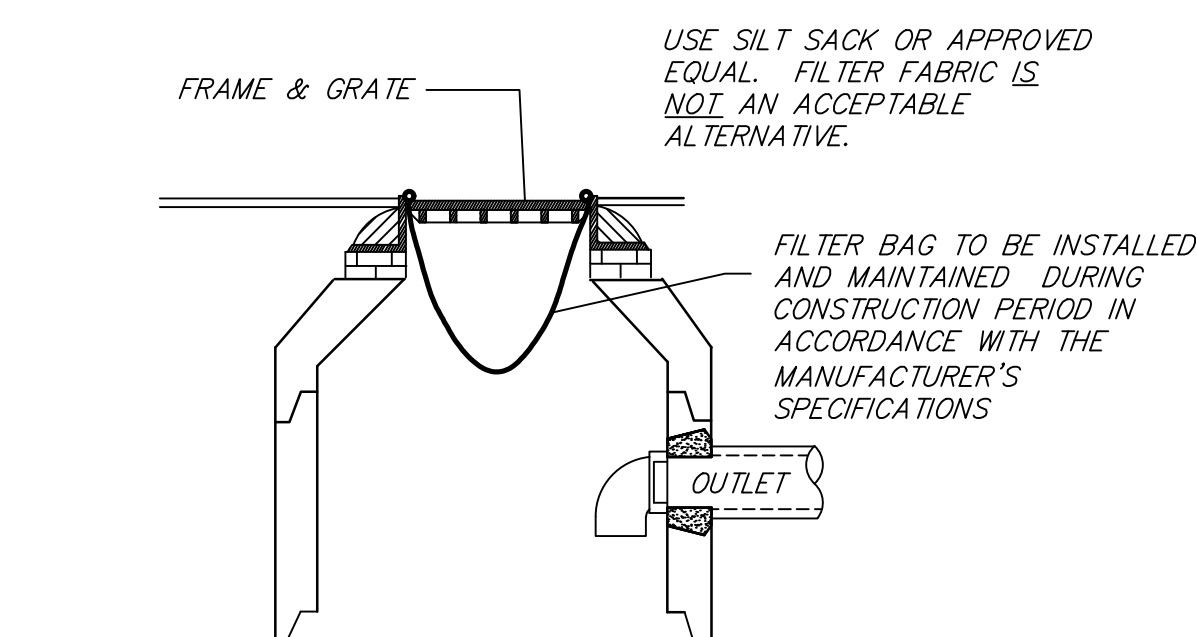
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DRAWN BY:	LMT/CME
CHECK BY:	CMF
DWG:	25337sv1.dwg
LAYOUT:	EC
SHEET:	1 OF 1
EC	
PROJECT NO.:	25337

PATH: V:\Vol\HSA\Civil 3D Projects\25337B - Brody - Medway\Surv\DWG\

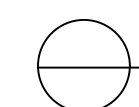
1. INSTALL CONSTRUCTION FENCE AS SHOWN AND EROSION CONTROLS INCLUDING STRAW WATTLE.
2. INSTALL RETAINING WALLS PER APPROVED WALL PLAN TO FINAL ELEVATIONS.
3. CONSTRUCT TEMPORARY SEDIMENT BASIN AND DIVERSION SWALES PER PLAN.
4. REMOVE TREES AND GRUB SITE.
5. REMOVE EXISTING BUILDINGS.
6. COMMENCE CUT/BLAST OPERATIONS AND FILL OPERATIONS, RAISING WALL TO MAINTAIN MINIMUM 2 FT. HIGHER THAN FILL SIDE OF WALL, MAINTAIN AND/OR REBUILD SEDIMENT PONDS AND DIVERSION SWALES TO SUIT.
7. STABILIZE UP-GRADIENT AREAS AS SOON AS POSSIBLE.
8. RETURN AREA BELOW WALL TO NATURAL WITH EROSION CONTROL SEED MIX.
9. GRADE AND CONSTRUCT MAIN BUILDING FOUNDATION.
10. CONSTRUCT BUILDING.
11. INSTALL INFILTRATION SYSTEMS AND DRAINAGE STRUCTURES.

VOLUME REQUIRED IS BASED ON 1 INCH DEPTH
 = (1 INCH)(1 INCH/12 INCHES PER FOOT) x UPSTREAM WATERSHED AREA

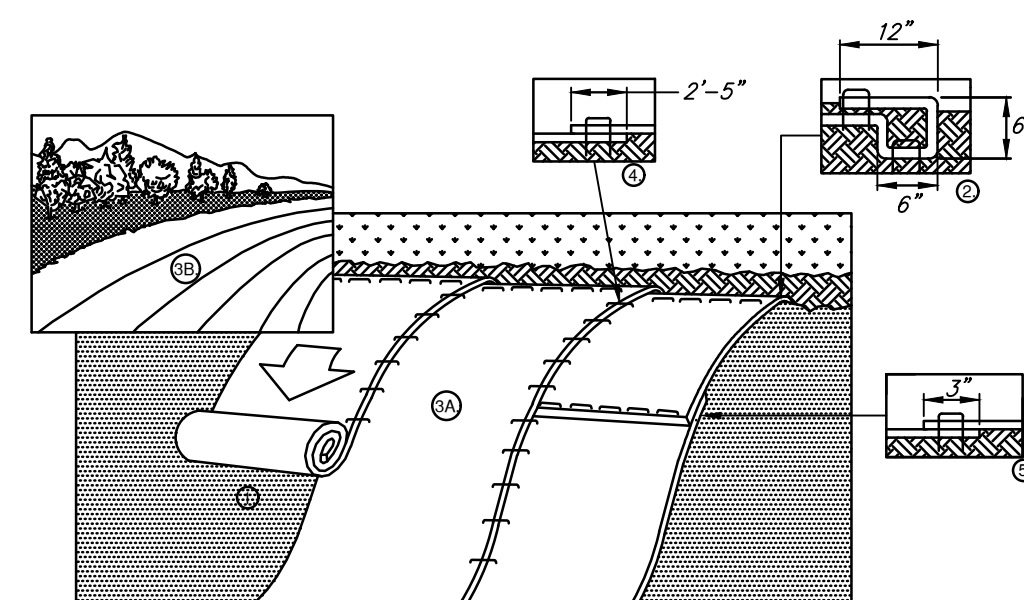
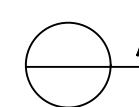
<u>BASIN ID</u>	<u>UPSTREAM WATERSHED AREA</u>	<u>VOLUME REQUIRED</u>	<u>VOLUME PROVIDED</u>	<u>EXCESS/DEF</u>
1	17,777 SF	1,481 CF	1,554 CF	73 CF
2	19,398 SF	1,617 CF	1,802 CF	185 CF
3	4,647 SF	387 CF	430 CF	43 CF



**TEMPORARY GRAVEL
INSTRUCTION ENTRANCE/EXIT**
NOT TO SCALE



MAJOR SLOPE STABILIZATION

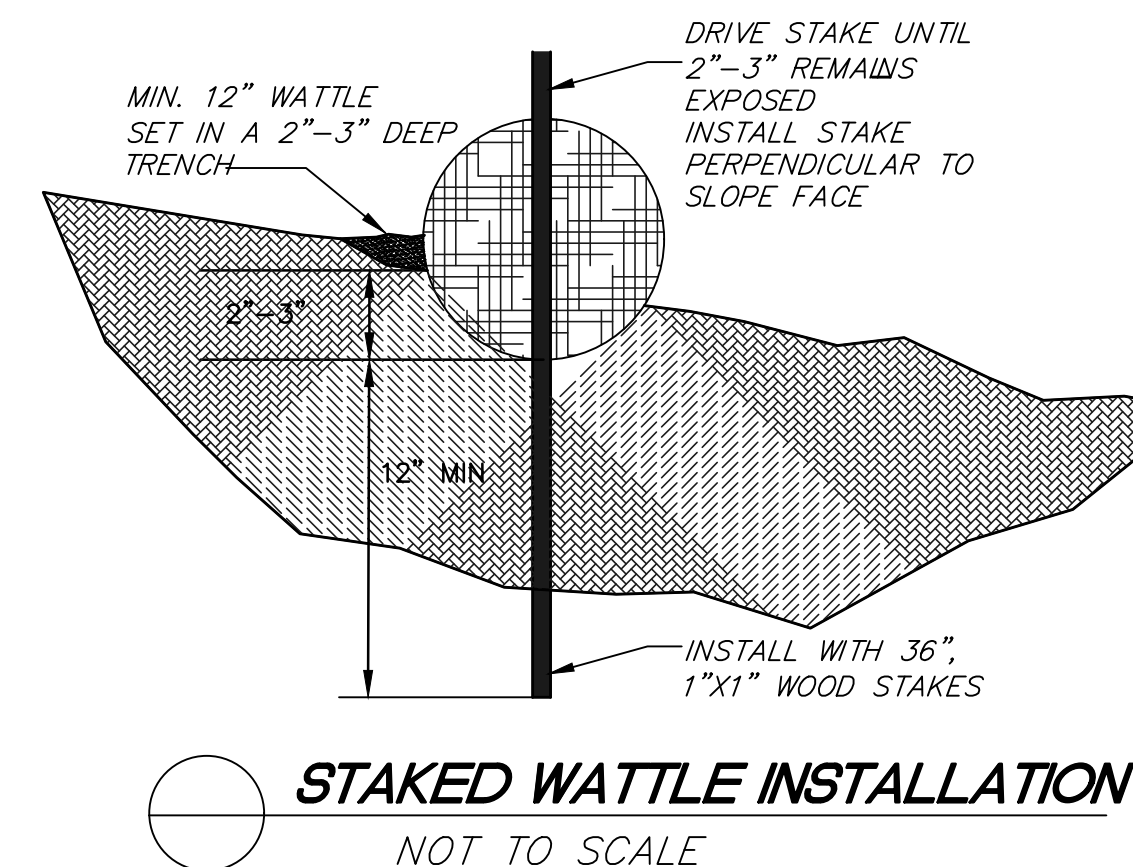


GENERAL NOTES:

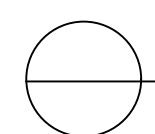
1. ABOVE SLOPE TREATMENT SHALL BE PROVIDED FOR SLOPES STEEPER THAN 3:1 WHERE EMBANKMENT HEIGHT IS 4 FEET OR MORE.
2. THE ABOVE DETAIL IS PROVIDED BY NORTH AMERICAN GREEN. ALL SLOPE STABILIZATION PRODUCTS SHALL CONFORM TO THE MANUFACTURER'S SPECIFICATIONS AND INSTALLATION GUIDELINES.
3. ROLLED EROSION CONTROL PRODUCT TO BE SC150BN BY NORTH AMERICAN GREEN OR APPROVED EQUAL.

INSTALLATION NOTES:

1. PREPARE SOIL BEFORE INSTALLING ROLLED EROSION CONTROL PRODUCTS (RECP'S), INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER AND SEED.
2. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE RECP'S IN A 6" DEEP X 6" WIDE TRENCH WITH APPROXIMATELY 12" OF RECP'S EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE RECP'S TO THE ROW OF STAPLES/STAKES APPROXIMATELY 12" APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" PORTION OF RECP'S BACK OVER THE SEED AND COMPACTED SOIL. SECURE THE RECP'S OVER THE COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" APART ACROSS THE ENTIRE WIDTH OF THE RECP'S.
3. SECURE THE RECP'S (A) DOWN OR (B) HORIZONTALLY ACROSS THE SLOPE. RECP'S WILL UNROLL WITH GRAVITY TO PARALLEL THE SOIL SURFACE. ALL RECP'S MUST BE SECURELY FASTENED TO THE SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS SHOWN IN THE STAPLE PATTERN GUIDE. USING THE DOT SYSTEM, STAPLES/STAKES SHOULD BE PLACED THROUGH EACH OF THE COLORED DOTS CORRESPONDING TO THE APPROPRIATE STAPLE PATTERN.
4. THE EDGES OF PARALLELS RECP'S MUST BE STAPLED WITH APPROXIMATELY 2"-5" OF OVERLAP DEPENDING ON THE RECP'S TYPE.
5. CONSECUTIVE RECP'S SPLICED DOWN THE SLOPE MUST BE PLACED END OVER END (SHINGLE STYLE) WITH AN APPROXIMATE 3" OVERLAP. STAPLING THROUGH OVERLAPPED AREA, APPROXIMATELY 12" APART ACROSS THE ENTIRE WIDTH IN ALL WEATHER CONDITIONS. THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 18" MAY BE NECESSARY TO PROPERLY STAPLE.



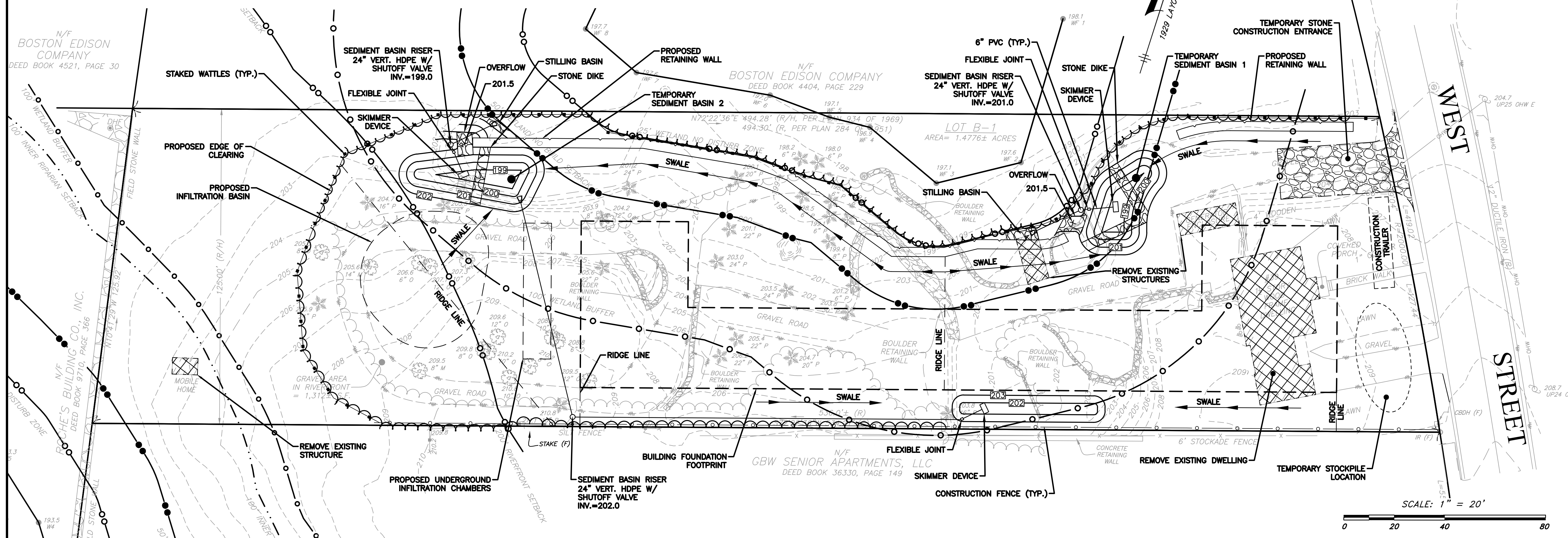
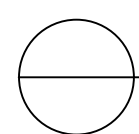
CATCH BASIN FILTER BAG



TYPICAL CROSS SECTION - NOT TO SCALE

**GRAVITY
BLOCK WALL TREATMENT**

NOT TO SCALE



PERMIT SITE PLAN

39 West Street
Medway, MA 02053

ASSESSORS:

<u>MAP</u>	<u>PARCEI</u>
55	51

PREPARED FOR:

STEVEN G.
BRODY

39 West Street
Medway, MA 02053

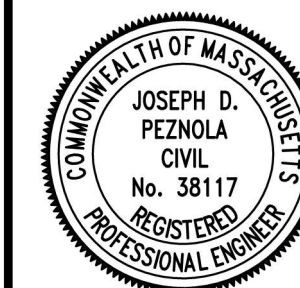
HANCOCK
ASSOCIATES

Civil Engineers

Land Surveyors

Wetland Scientists

315 ELM STREET, MARLBOROUGH, MA 01752
VOICE (508) 460-1111, FAX (508) 460-1121
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NO.	BY	APP	DATE	ISSUE/REVISION DESCRIPTION
DATE:	8/15/25			DESIGN BY: DJ
SCALE:	1"=20'			DRAWN BY: DJ
APPRVD. BY:	JP			CHECK BY: BG

DEMOLITION AND EROSION AND SEDIMENT CONTROL PLAN

PLOT DATE: Aug 15, 2025 8:18 am
PATH: C:\Work\HSA\Chil_3D Projects\253378 - Brady - Medway\Eno\DWG

DWG: 25337SP.dwg

LAYOUT: 4DESC

PROJECT NO.:

25.337

DESC

ZONING:

PER MEDWAY ZONING BYLAW, AS AMENDED - 5/12/2025
PER MEDWAY ZONING MAP, DATED 9/25/2024 WITH
AMENDMENTS APPROVED AT 11/12/2024 TOWN MEETING

ZONING DISTRICTS:

AR-2 AGRICULTURAL RESIDENTIAL 2
MOD MULTIFAMILY OVERLAY DISTRICT

MOD APPLICABILITY: SUBDISTRICT 3/GLEN BROOK
(INCLUDES 39 WEST STREET, APN 55-51)

DENSITY AND DIMENSIONAL REGULATIONS (MOD)

PER §5.6.5.E. OF TOWN OF MEDWAY ZONING BYLAW

ITEM	REQUIRED	PROPOSED
MIN. LOT AREA	20,000 SF	64,366± SF
MAX. LOT COVERAGE	20%	19.99%
MIN. OPEN SPACE	30%	40.3%
MAX. HEIGHT	3 STORIES	3 STORIES
MAX. HEIGHT	45 FT	44'-10"
MIN. FRONTAGE	100 FT	127± FT
MIN. SETBACKS		
FRONT	25 FT	25.3'
SIDE	15 FT	15.5'
REAR	20 FT	182.0'
MAX. DENSITY		
PER ACRE	20 UNITS	
PER BUILDING	24 UNITS	

OUTDOOR AMENITY SPACE

PER §5.6.5.H.11. OF TOWN OF MEDWAY ZONING BYLAW:
MIN. 20% OF LOT DEDICATED TO OUTDOOR AMENITY SPACE

13,397 (PRIVATE YARD) / 64,366 S.F. =
20.8% PROPOSED

UNIT DENSITY CALCULATION:

PER MEDWAY ZONING BYLAW, AS AMENDED - 5/12/2025

IN MULTIFAMILY OVERLAY DISTRICT (MOD), MAXIMUM DENSITY:
20 UNITS PER ACRE
24 UNITS PER BUILDING

LOT AREA = 64,366± SF = 1.48± AC
1.48 AC x 20 UNITS/AC = 29.6 -> 29 UNITS MAX

24 UNITS PROPOSED

PARKING CALCULATION:

PER §7.1.1 OF TOWN OF MEDWAY ZONING BYLAW:

MULTI-FAMILY DEVELOPMENT, OFF-STREET PARKING:
1.5 PARKING SPACES PER UNIT

24 UNITS x 1.5 SPACES/UNIT = 36 SPACES MIN.

36 SPACES PROPOSED

ELECTRIC VEHICLE PARKING:

PER §7.1.1.E.4 OF TOWN OF MEDWAY ZONING BYLAW:
2 PARKING SPACES REQUIRED FOR 26-50 TOTAL PARKING SPACES

2 ELECTRIC VEHICLE SPACES PROPOSED

PER 225 CMR 22: MA RESIDENTIAL STRETCH ENERGY CODE AND
MUNICIPAL OPT-IN SPECIALIZED CODE 2023, SECTION R404.4:
20% OF TOTAL SPACES SHALL BE EV READY
20% OF 36 SPACES = 8 SPACES REQUIRED

8 EV READY SPACES PROVIDED

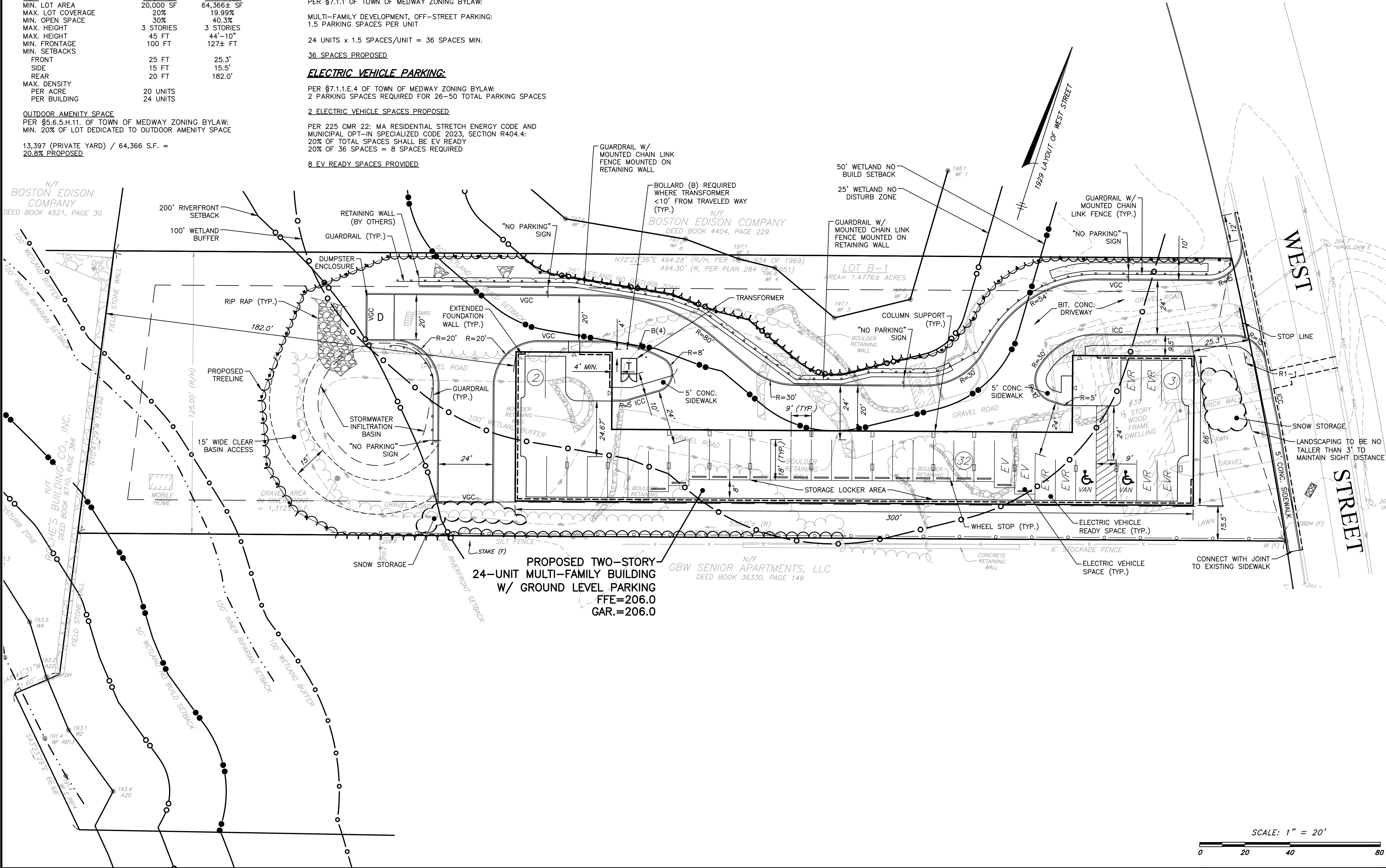
MUTCD TRAFFIC SIGNAGE SUMMARY



R1-1 WHITE ON RED 24" x 24"

NOTE:

"NO PARKING" SIGNS TO BE SPECIFIED BY OWNER



PERMIT
SITE
PLAN

39 West Street
Medway, MA 02053

ASSESSORS:

MAP 55 PARCEL 51

PREPARED FOR:

STEVEN G.
BRODY

39 West Street
Medway, MA 02053

HANCOCK
ASSOCIATES

Civil Engineers

Land Surveyors

Wetland Scientists

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1			8/15/25	DESIGN BY:	DJR
2			8/15/25	DRAWN BY:	DJR
3			8/15/25	CHECK BY:	BGS

LAYOUT AND
MATERIALS PLAN

PLOT DATE: Aug 15, 2025 8:23 am

FILE: \\hpc\hpc\proj\25\25337SP.dwg

DWG: 25337SP.dwg

LAYOUT: 5LM

SHEET: 5 OF 13

PROJECT NO.:

25337

LM

SCALE: 1" = 20'

TEST PIT TP-1 (EL. 209.0±)			
DEPTH	LAYER	TEXTURAL CLASSIFICATION	REDOXIMORPHIC FEATURES/NOTES
0'-3"	Ap	SANDY LOAM	NONE
3'-50"	FILL	--	NONE
50'-128"	C	GRAVELLY SAND	LUMBER SCRAPS & COBBLES
NO GROUNDWATER OBSERVED			
TEST PIT TP-2 (EL. 204.0±)			
DEPTH	LAYER	TEXTURAL CLASSIFICATION	REDOXIMORPHIC FEATURES
0'-16"	Ap	SANDY LOAM	NONE
16'-20"	Bw	FINE SAND W/ GRAVEL	NONE
20'-58"	C1	MEDIUM SAND	NONE
58'-126"	C2	GRAVELLY SAND	NONE
WEEPING @ 110'. STANDING @ 118' ESHWT=110' (EL. 194.83±) BASED ON WEEPING			

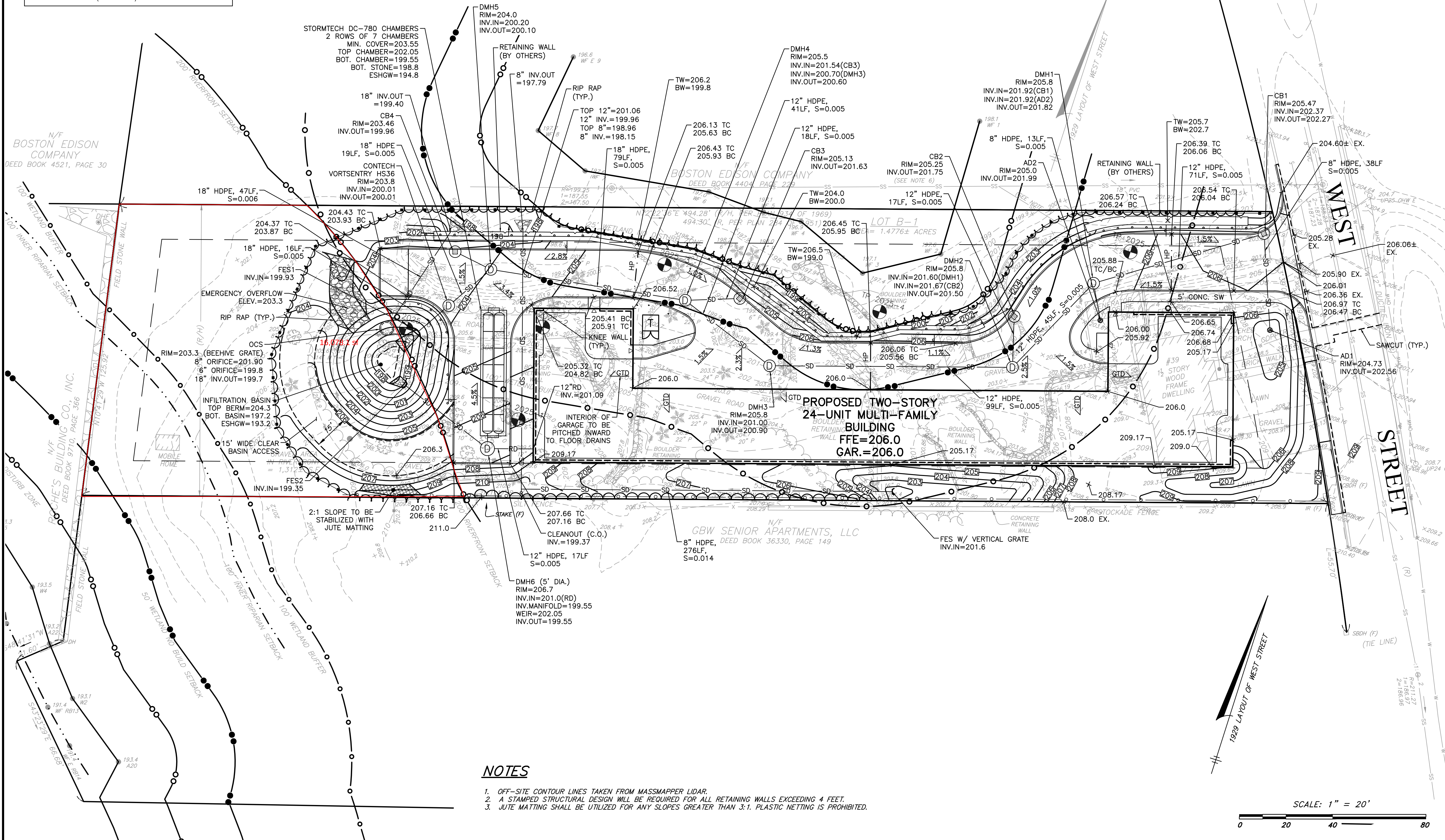
TEST PIT TP-3 (EL. 199.8±)			
DEPTH	LAYER	TEXTURAL CLASSIFICATION	REDOXIMORPHIC FEATURES/NOTES
0'-18"	Ap	SAND	NONE
18'-32"	Bw	F. SAND W/ GRAVEL	NONE
32'-68"	C	C. SAND W/ GRAVEL	MOTTLING @ 40"
MOTTLING @ 40", STANDING @ 55" ESHWT=40' (EL. 196.5±) BASED ON MOTTLING			
TEST PIT TP-4 (EL. 198.5±)			
DEPTH	LAYER	TEXTURAL CLASSIFICATION	REDOXIMORPHIC FEATURES
0'-20"	Ap	SANDY LOAM	NONE
20'-28"	Bw	FSL W/ GRAVEL	MOTTLING @ 24"
28'-50"	C	C. SAND W/ GRAVEL	SEE ABOVE
MOTTLING @ 24", STANDING @ 37" ESHWT=24' (EL. 196.5±) BASED ON MOTTLING			

TEST PIT TP-5 (EL. 203.0±)			
DEPTH	LAYER	TEXTURAL CLASSIFICATION	REDOXIMORPHIC FEATURES
0'-19"	Ap	SANDY LOAM	NONE
19'-38"	Bw	FINE SANDY LOAM	NONE
38'-91"	C	C. SAND W/ GRAVEL	NONE
NO MOTTLING, STANDING @ 91" ESHWT=91' (EL. 195.4±) BASED ON STANDING WATER			

PERFORMED BY: DANIEL ROMERO (SE #14149)
DATE: 3/13/25

TEST PIT TP-6 (EL. 205.7±)			
DEPTH	LAYER	TEXTURAL CLASSIFICATION	REDOXIMORPHIC FEATURES
0'-10"	Ap	SANDY LOAM	NONE
10'-24"	Bw	FINE SANDY LOAM	NONE
24'-62"	C1	GRAVELLY C. SAND	NONE
62'-150"	C2	GRAVELLY LS	NONE
NO MOTTLING, STANDING @ 150" ESHWT=150' (EL. 193.2±) BASED ON STANDING WATER			

PERFORMED BY: DANIEL ROMERO (SE #14149)
DATE: 7/14/25



- NOTES**
- OFF-SITE CONTOUR LINES TAKEN FROM MASSMAPPER LIDAR.
 - A STAMPED STRUCTURAL DESIGN WILL BE REQUIRED FOR ALL RETAINING WALLS EXCEEDING 4 FEET.
 - JUTE MATTING SHALL BE UTILIZED FOR ANY SLOPES GREATER THAN 3:1. PLASTIC NETTING IS PROHIBITED.

PERMIT SITE PLAN

39 West Street
Medway, MA 02053

ASSESSORS:

MAP 55 PARCEL 51

PREPARED FOR:

STEVEN G.
BRODY

39 West Street
Medway, MA 02053

HANCOCK ASSOCIATES

Civil Engineers

Land Surveyors

Wetland Scientists

315 ELM STREET, MARLBOROUGH, MA 01752
VOICE (508) 460-1111, FAX (508) 460-1121
WWW.HANCOCKASSOCIATES.COM



NO.	BY	APP	DATE	ISSUE/REVISION	DESCRIPTION
1	DJR		8/15/25	DESIGN BY:	DJR
2	DJR		8/15/25	DRAWN BY:	DJR
3	JR		8/15/25	CHECK BY:	BGS

GRADING AND STORMWATER MANAGEMENT PLAN

PLOT DATE: Aug 15, 2025, 8:24 am
FILE: C:\Users\jpezo\OneDrive\Documents\25337 - Medway.dwg

DWG: 25337SP.dwg

LAYOUT: 6GD

SHEET: 6 OF 13

PROJECT NO.:

GSW

25337

PERMIT
SITE
PLAN

39 West Street
Medway, MA 02053

ASSESSORS:

MAP 55 PARCEL 51

PREPARED FOR:

STEVEN G.
BRODY

39 West Street
Medway, MA 02053

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1	DJR		8/15/25	DESIGN BY:	DJR
2	DJR		8/15/25	DRAWN BY:	DJR
3	DJR		8/15/25	CHECK BY:	BGS

UTILITY PLAN

PLOT DATE: Aug 15, 2025 8:28 am
PLOT BY: C:\Users\jpeznola\OneDrive\Documents\25337 - 39 West Street - Medway.dwg (DWG)

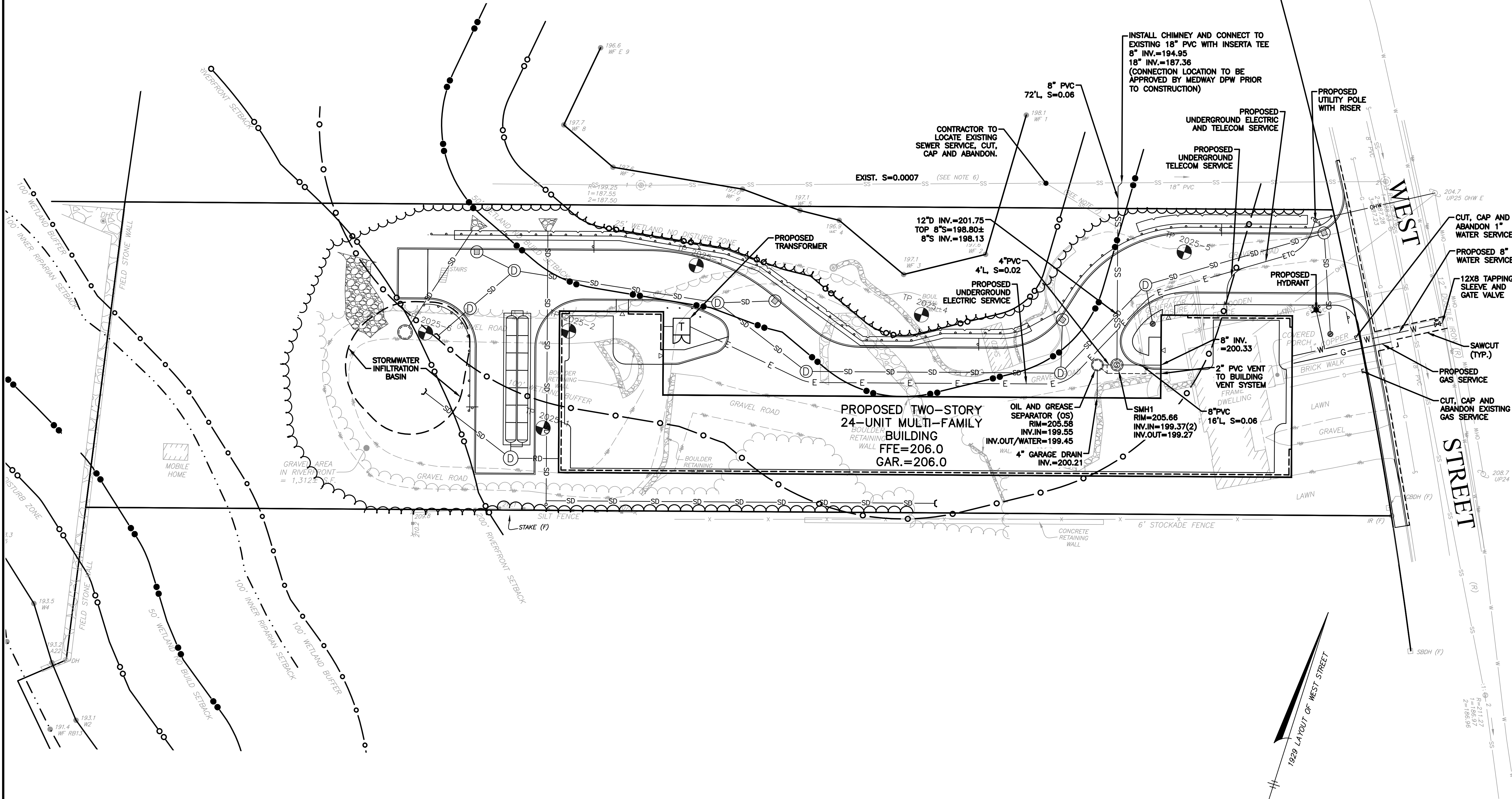
DWG: 25337SP.dwg

LAYOUT: 7UT

SHEET: 7 OF 13

PROJECT NO.:

25337



NOTES:

1. PROPOSED OIL AND GREASE SEPARATOR SHALL BE VENTED AS SHOWN ON
DETAIL SHEET 2 AND CONNECTED TO THE BUILDING VENTING SYSTEM.

PERMIT
SITE
PLAN

39 West Street
Medway, MA 02053

ASSESSORS:

MAP 55 PARCEL 51

PREPARED FOR:

STEVEN G.
BRODY

39 West Street
Medway, MA 02053

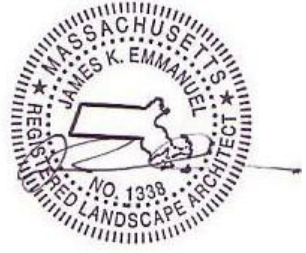
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1			8/13/25	DESIGN BY:	DJR
2			11/20/25	DRAWN BY:	DJR
3				APPRVD. BY:	JP
4				CHECK BY:	BGS

LANDSCAPE
PLAN

PLOT DATE: Aug 12, 2025, 4:30 pm
Path: c:\projects\25337\25337.dwg

DWG: 25337SP.dwg

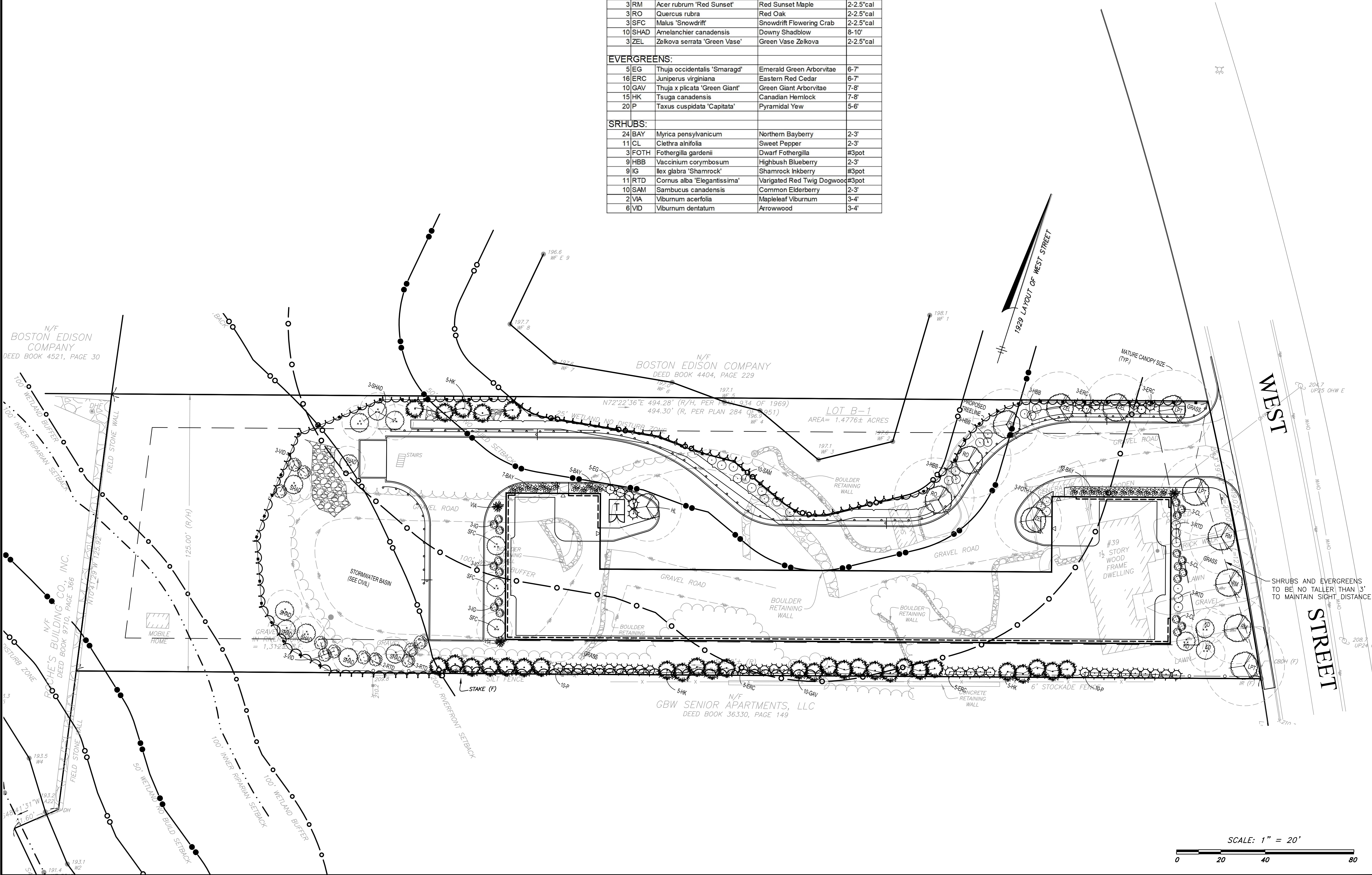
LAYOUT: 8LA

SHEET: 8 OF 13

PROJECT NO.:

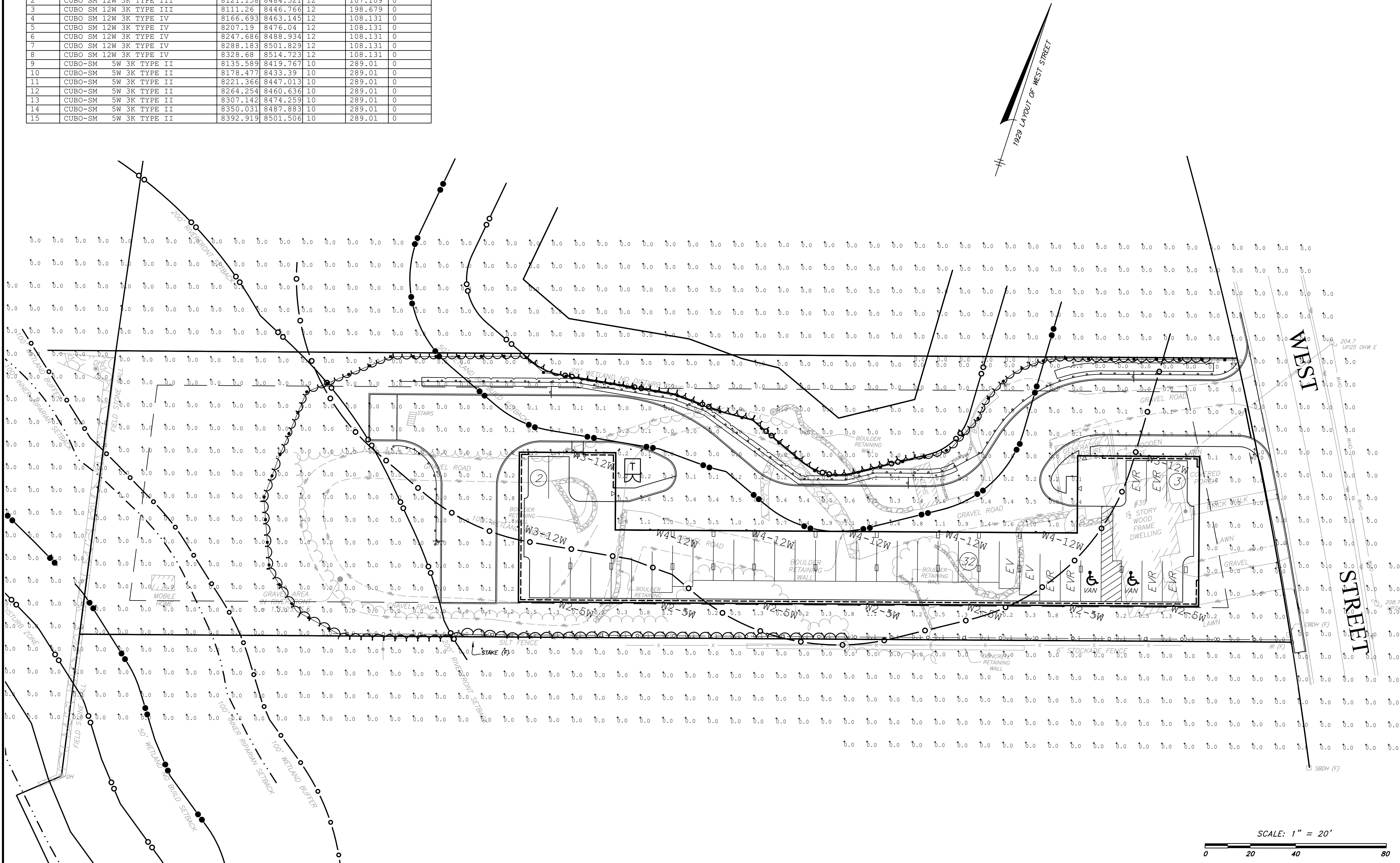
25337

Plant Schedule				
Qty	Key	Botanical Name	Common Name	Size
TREES:				
1	HL	Gleditsia triacanthos 'Skyline'	Honeylocust	2-2.5'cal
3	KD	Cornus kousa	Korean Dogwood	2-2.5'cal
3	LPT	Platanus acerifolia	London Planetree	2-2.5'cal
3	RM	Acer rubrum 'Red Sunset'	Red Sunset Maple	2-2.5'cal
3	RO	Quercus rubra	Red Oak	2-2.5'cal
3	SFC	Malus 'Snowdrift'	Snowdrift Flowering Crab	2-2.5'cal
10	SHAD	Amelanchier canadensis	Downy Shadblow	8-10'
3	ZEL	Zelkova serrata 'Green Vase'	Green Vase Zelkova	2-2.5'cal
EVERGREENS:				
5	EG	Thuja occidentalis 'Smaragd'	Emerald Green Arborvitae	6-7'
16	ERC	Juniperus virginiana	Eastern Red Cedar	6-7'
10	GAV	Thuja x plicata 'Green Giant'	Green Giant Arborvitae	7-8'
15	HK	Tsuga canadensis	Canadian Hemlock	7-8'
20	P	Taxus cuspidata 'Capitata'	Pyramidal Yew	5-6'
SRHUBS:				
24	BAY	Myrica pensylvanicum	Northern Bayberry	2-3'
11	CL	Clethra alnifolia	Sweet Pepper	2-3'
3	FOTH	Fothergilla gardenii	Dwarf Fothergilla	#3pot
9	HBB	Vaccinium corymbosum	Highbush Blueberry	2-3'
9	IG	Ilex glabra 'Shamrock'	Shamrock Inkberry	#3pot
11	RTD	Cornus alba 'Elegantissima'	Varigated Red Twig Dogwood	#3pot
10	SAM	Sambucus canadensis	Common Elderberry	2-3'
2	VIA	Viburnum acerifolia	Mapleleaf Viburnum	3-4'
6	VID	Viburnum dentatum	Arrowwood	3-4'



Luminaire Schedule							
Symbol	Qty	Label	Tag	LLF	Luminaire Lumens	Luminaire Watts	Mounting Height
	3	CUBO SM 12W 3K TYPE III	W3-12W	0.960	1588	13.2	12
	5	CUBO SM 12W 3K TYPE IV	W4-12W	0.960	1276	13.1	12
	7	CUBO-SM 5W 3K TYPE II	W2-5W	0.960	536	5.6	10

Luminaire Location Summary						
LumNo	Label	Insertion Point			Orient	Tilt
		X	Y	Z		
1	CUBO SM 12W 3K TYPE III	8362.339	8561.056	12	107.737	0
2	CUBO SM 12W 3K TYPE III	8121.158	8484.521	12	107.109	0
3	CUBO SM 12W 3K TYPE III	8111.26	8446.766	12	198.679	0
4	CUBO SM 12W 3K TYPE IV	8166.693	8463.145	12	108.131	0
5	CUBO SM 12W 3K TYPE IV	8207.19	8476.04	12	108.131	0
6	CUBO SM 12W 3K TYPE IV	8247.686	8488.934	12	108.131	0
7	CUBO SM 12W 3K TYPE IV	8288.183	8501.829	12	108.131	0
8	CUBO SM 12W 3K TYPE IV	8328.68	8514.723	12	108.131	0
9	CUBO-SM 5W 3K TYPE II	8135.589	8419.767	10	289.01	0
10	CUBO-SM 5W 3K TYPE II	8178.477	8433.39	10	289.01	0
11	CUBO-SM 5W 3K TYPE II	8221.366	8447.013	10	289.01	0
12	CUBO-SM 5W 3K TYPE II	8264.254	8460.636	10	289.01	0
13	CUBO-SM 5W 3K TYPE II	8307.142	8474.259	10	289.01	0
14	CUBO-SM 5W 3K TYPE II	8350.031	8487.883	10	289.01	0
15	CUBO-SM 5W 3K TYPE II	8392.919	8501.506	10	289.01	0



PERMIT
SITE
PLAN

39 West Street
Medway, MA 02053

ASSESSORS:

MAP 55 PARCEL 51

PREPARED FOR:

STEVEN G.
BRODY

39 West Street
Medway, MA 02053

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Civil Engineers

Land Surveyors

Wetland Scientists

315 ELM STREET, MARLBOROUGH, MA 01752
VOICE (508) 460-1111, FAX (508) 460-1121
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1			8/15/25	DESIGN BY:	DJR
2			8/15/25	DRAWN BY:	DJR
3			8/15/25	CHECK BY:	BGS

LIGHTING
PLAN

PLOT DATE: Aug 15, 2025, 8:28 am

FILE: c:\projects\25337\25337.dwg

DWG: 25337SP.dwg

LAYOUT: 9/L

SHEET: 9 OF 13

PROJECT NO.:

25337

PERMIT
SITE
PLAN

39 West Street
Medway, MA 02053

ASSESSORS:

MAP 55
PARCEL 51

PREPARED FOR:

STEVEN G.
BRODY

39 West Street
Medway, MA 02053

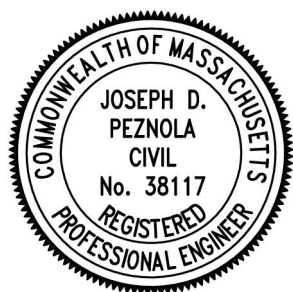
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1			8/15/25	DESIGN BY:	DJR
2			11/20/25	DRAWN BY:	DJR
3				APPRVD. BY:	JP
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SWEPT PATH
ANALYSIS

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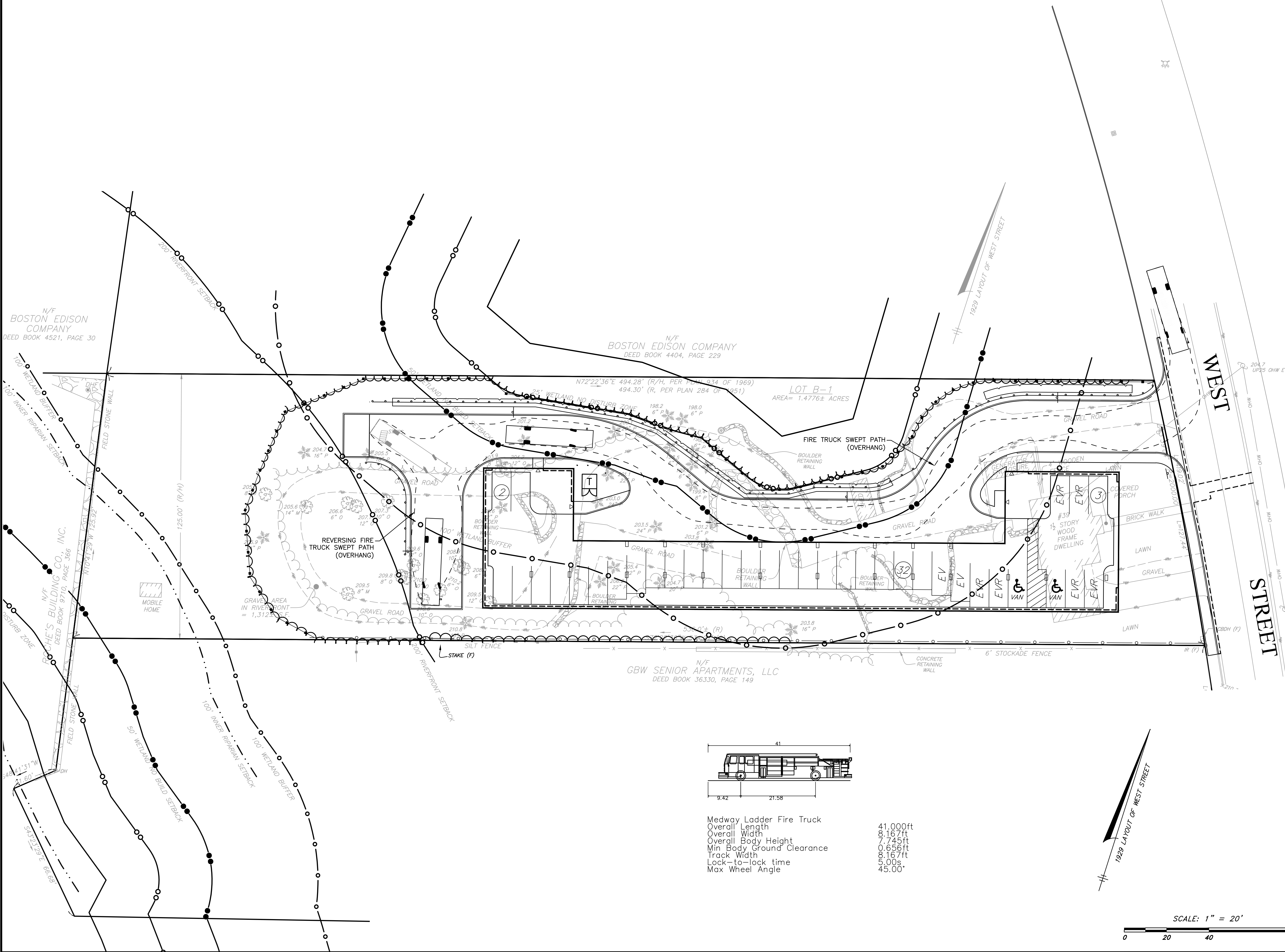
LAYOUT: 10SPA

SHEET: 10 OF 13

PROJECT NO.:

25337

SPA



39 West Street
Medway, MA 02053

ASSESSORS:

<u>MAP</u>	<u>PARCEL</u>
55	51

PREPARED FOR:

STEVEN G.
BRODY

39 West Street
Medway, MA 02053

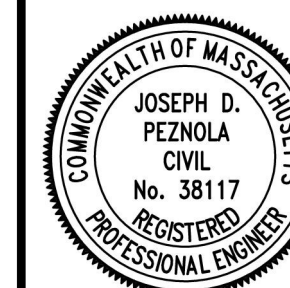
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DATE:		8/15/25		DESIGN BY:
SCALE:		1"=20'		DRAWN BY:
APPRVD. BY:		JP		CHECK BY:

DETAILS SHEET 2

PLOT DATE: Aug 15, 2025 8:40 am
PATH: Y:\Work\HSA\Civil_3D Projects\253378 - Brady - Medway\Eno\280\

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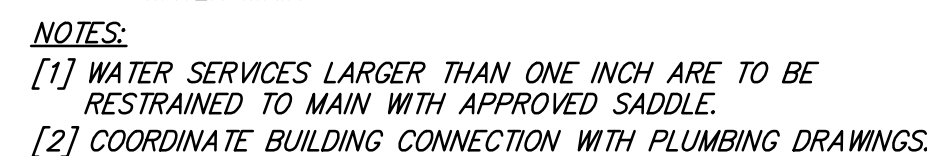
LAYOUT: 12DET2 DET2

SHEET: 12 OF 13

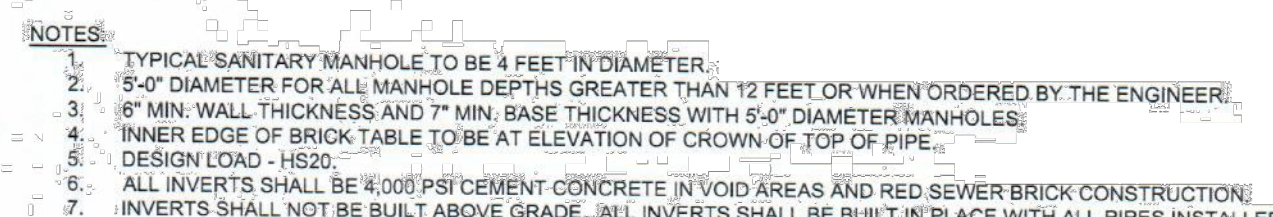
DET2



CATCH BASIN WITH HOOD
TYPICAL CROSS SECTION
NOT TO SCALE



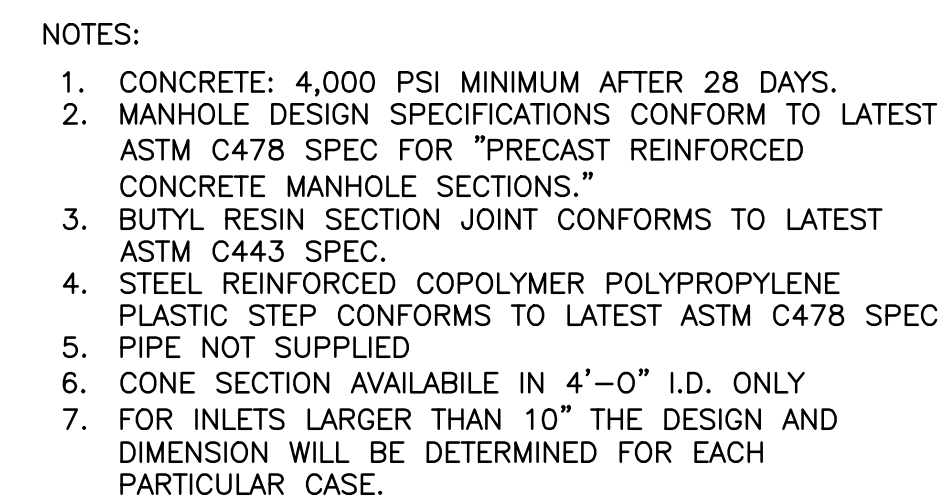
WATER SERVICE
TYPICAL PROFILE
NOT TO SCALE



MEDWAY
DEPARTMENT OF PUBLIC SERVICES



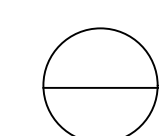
CHIMNEY

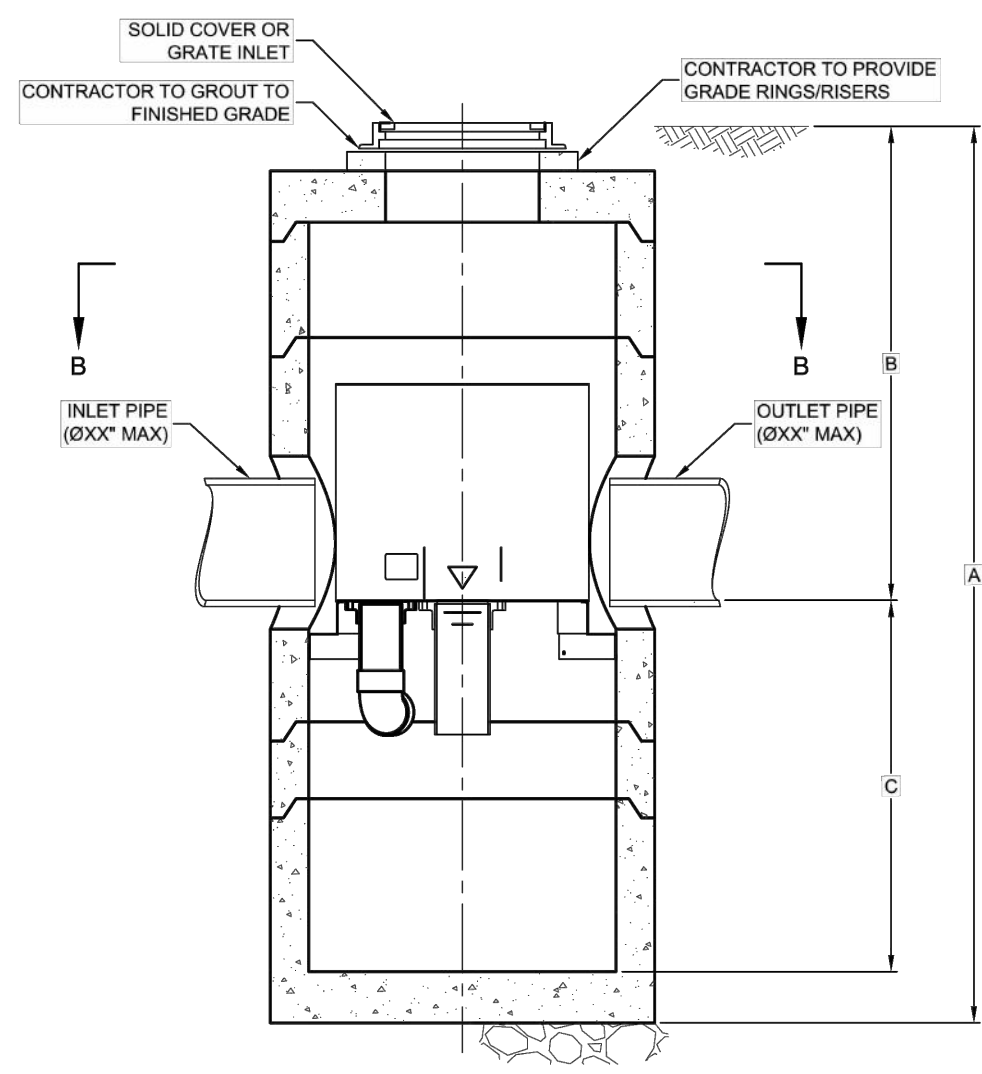


OIL AND GREASE SEPARATOR
NOT TO SCALE



DRAIN MANHOLE
TYPICAL CROSS SECTION
NOT TO SCALE

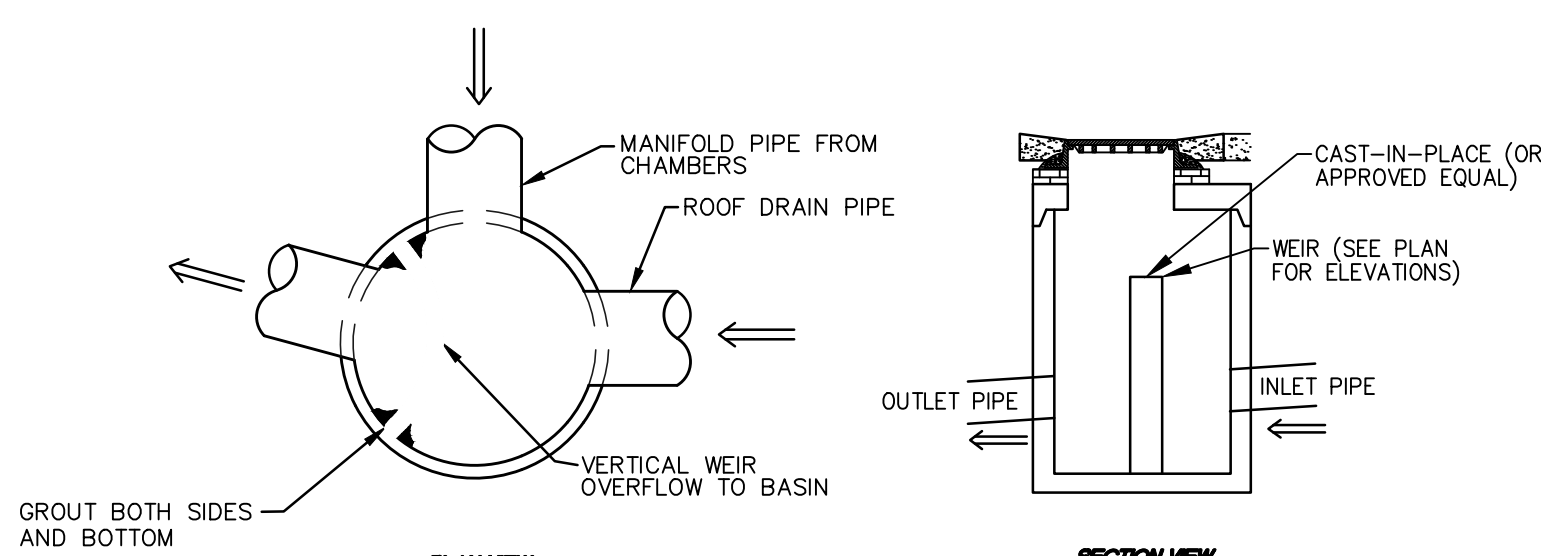




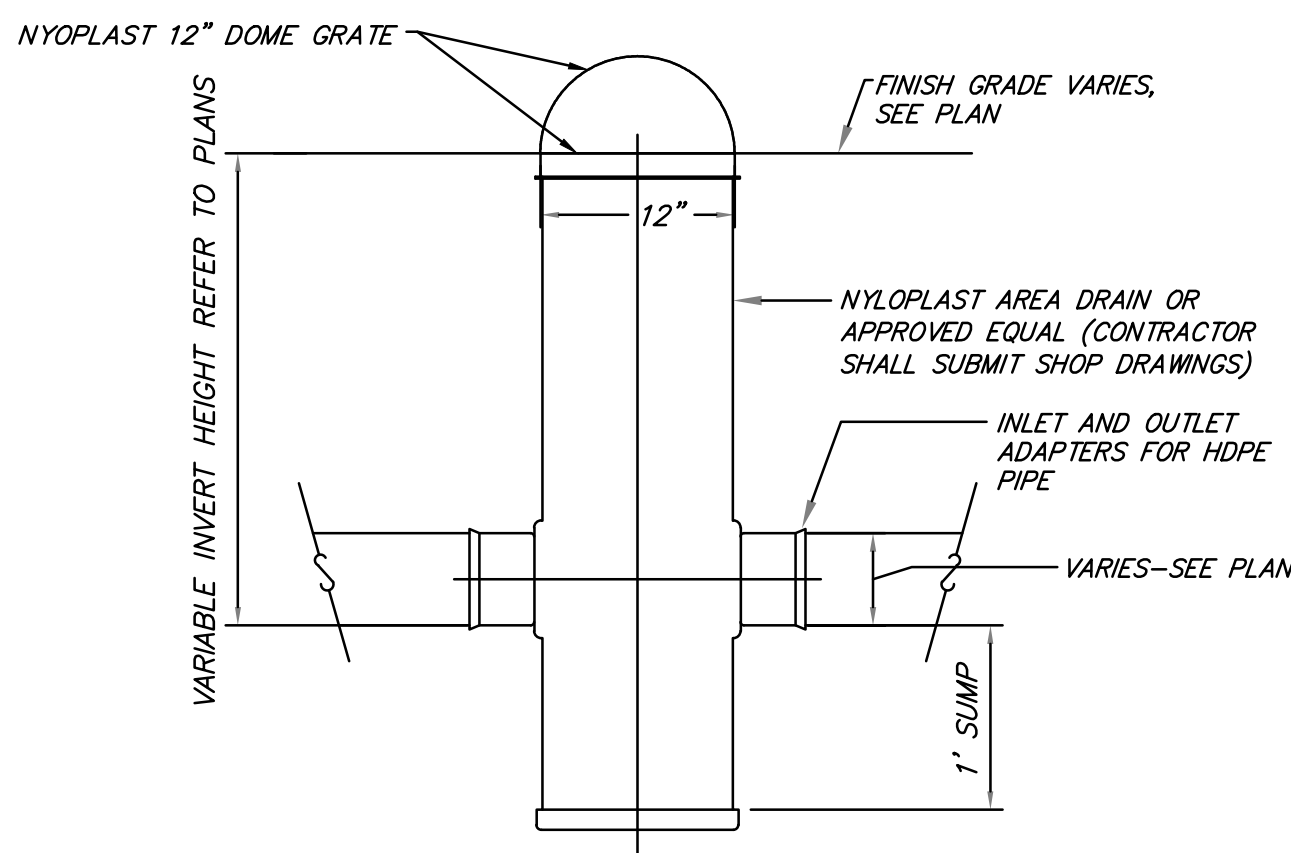
SECTION A-A

- GENERAL NOTES**
- CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
 - DIMENSIONS MARKED WITH () ARE REFERENCE DIMENSIONS. ACTUAL DIMENSIONS MAY VARY.
 - FOR FABRICATION DRAWINGS WITH DETAILED STRUCTURE DIMENSIONS AND WEIGHT, PLEASE CONTACT YOUR CONTECH ENGINEERED SOLUTIONS LLC REPRESENTATIVE. www.ContechES.com
 - VORTSENTRY HS WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING.
 - STRUCTURE SHALL MEET AASHTO HS20 AND CASTINGS SHALL MEET AASHTO M306 LOAD RATING, ASSUMING GROUNDWATER ELEVATION AT, OR BELOW, THE OUTLET PIPE INVERT ELEVATION. ENGINEER OF RECORD TO CONFIRM ACTUAL GROUNDWATER ELEVATION.
- INSTALLATION NOTES**
- ANY SUB-BASE, BACKFILL DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
 - CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE VORTSENTRY HS MANHOLE STRUCTURE (LIFTING CLUTCHES PROVIDED).
 - CONTRACTOR TO INSTALL JOINT SEALANT BETWEEN ALL STRUCTURE SECTIONS AND ASSEMBLY STRUCTURE.
 - CONTRACTOR TO PROVIDE, INSTALL, AND GROUT PIPES. MATCH PIPE INVERTS WITH ELEVATIONS SHOWN.
 - CONTRACTOR TO TAKE APPROPRIATE MEASURES TO ASSURE UNIT IS WATER TIGHT, HOLDING WATER TO FLOWLINE INVERT MINIMUM. IT IS SUGGESTED THAT ALL JOINTS BELOW PIPE INVERTS ARE GROUTED.

CONTECH VORTSENTRY HS36 STANDARD DETAIL
NOT TO SCALE

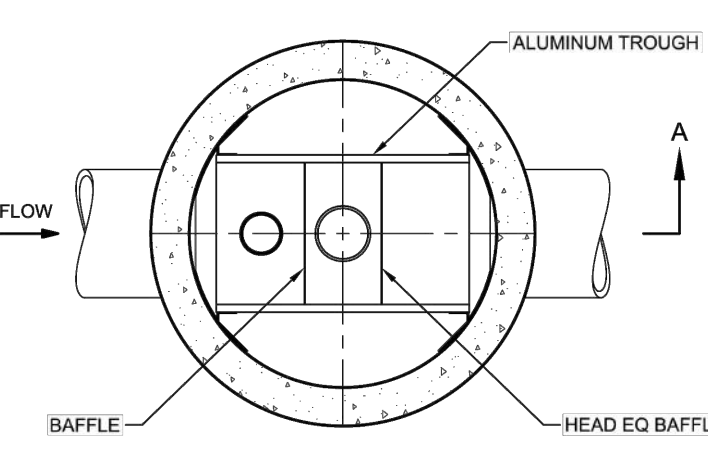


DMH 6 WEIR MANHOLE
NOT TO SCALE

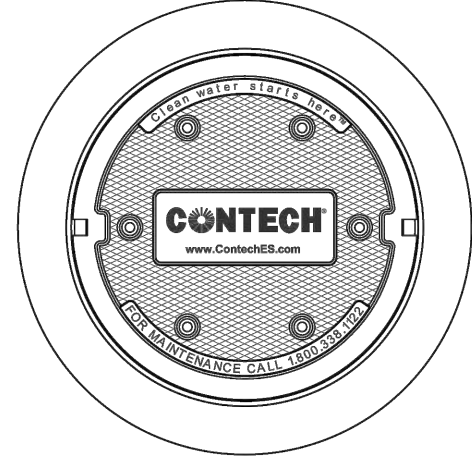


AREA DRAIN (AD)
NOT TO SCALE

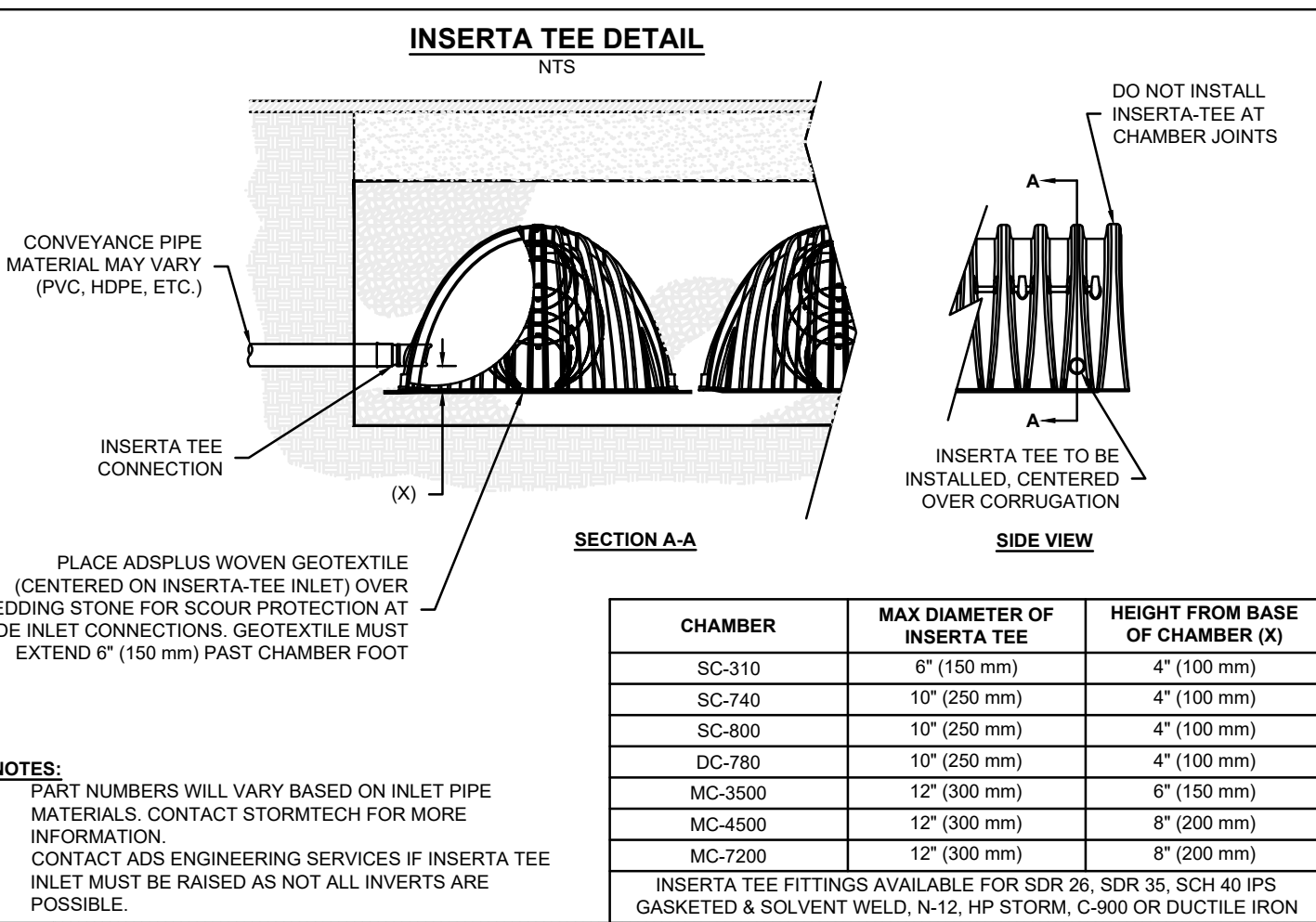
Model	Manhole Diameter (ID)		Total Treatment Flow Rate		Typical Total Distance Rim to Outside Bottom A		Typical Distance Rim to Invert B		Typical Depth Below Invert (inside) C		Approximate Minimum Distance Rim to Invert		Maximum Pipe Diameter (ID)	
	FT	mm	CFS	L/S	FT	m	FT	m	FT	mm	FT	m	IN	mm
HS36	3	900	0.55	15.6	10.16	3.10	4.08	1.24	5.58	1702	3.00	0.91	18	450
HS48	4	1200	1.20	34.0	13.25	4.04	6.00	1.83	6.75	2057	4.00	1.22	24	600
HS60	5	1500	2.20	62.3	15.13	4.61	6.50	1.98	7.96	2426	4.82	1.47	30	750
HS72	6	1800	3.70	104.8	16.56	5.05	6.75	2.06	9.15	2788	5.59	1.70	36	900
HS84	7	2100	5.60	158.6	18.85	5.75	7.75	2.36	10.35	3156	5.00	1.52	42	1050
HS96	8	2400	8.10	229.4	20.87	6.36	8.50	2.59	11.54	3518	6.91	2.11	48	1200



PLAN VIEW B-B

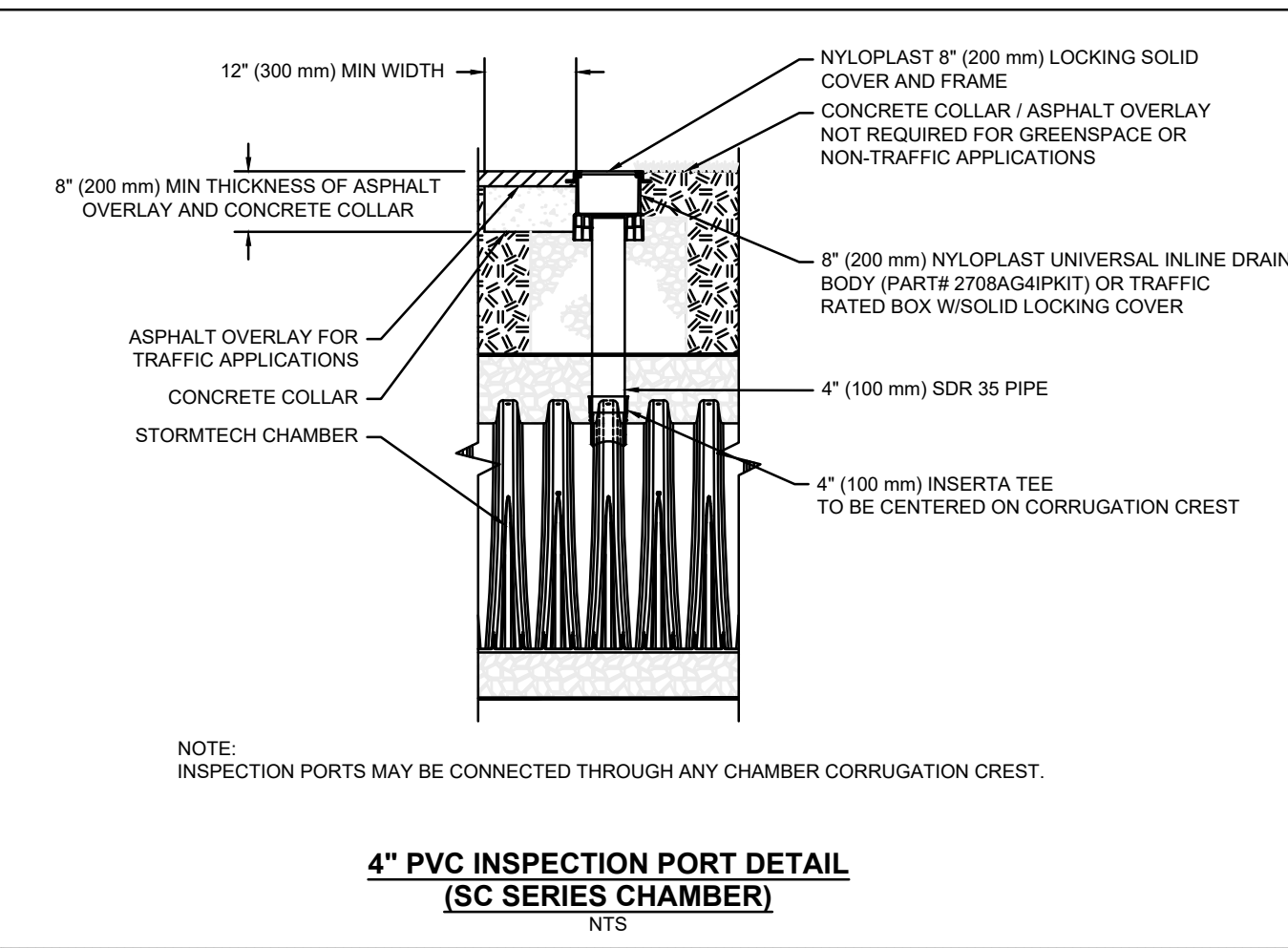


FRAME AND COVER
(DIAMETER VARIES)
N.T.S.



CHAMBER	MAX DIAMETER OF INSERTA TEE	HEIGHT FROM BASE OF CHAMBER (X)
SC-310	6" (150 mm)	4" (100 mm)
SC-740	10" (250 mm)	4" (100 mm)
SC-800	10" (250 mm)	4" (100 mm)
DC-780	10" (250 mm)	4" (100 mm)
MC-3500	12" (300 mm)	6" (150 mm)
MC-4500	12" (300 mm)	8" (200 mm)
MC-7200	12" (300 mm)	8" (200 mm)

INSERTA TEE FITTINGS AVAILABLE FOR SDR 26, SDR 35, SDR 40 IPS
GASKETED & SOLVENT WELD, N-12, HP STORM, C-90 OR DUCTILE IRON



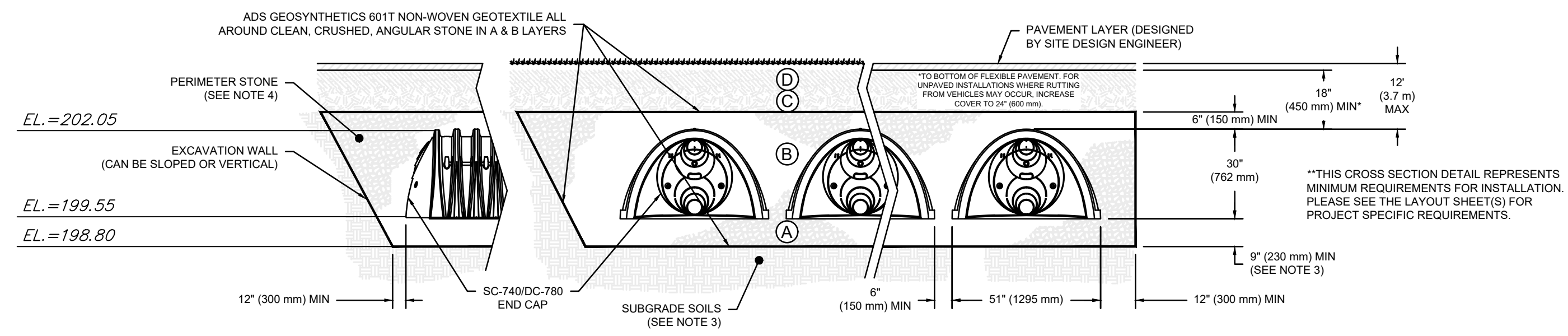
INSERTA-TEE SIDE INLET DETAIL

4\"/>

ACCEPTABLE FILL MATERIALS: STORMTECH DC-780 CHAMBER SYSTEMS

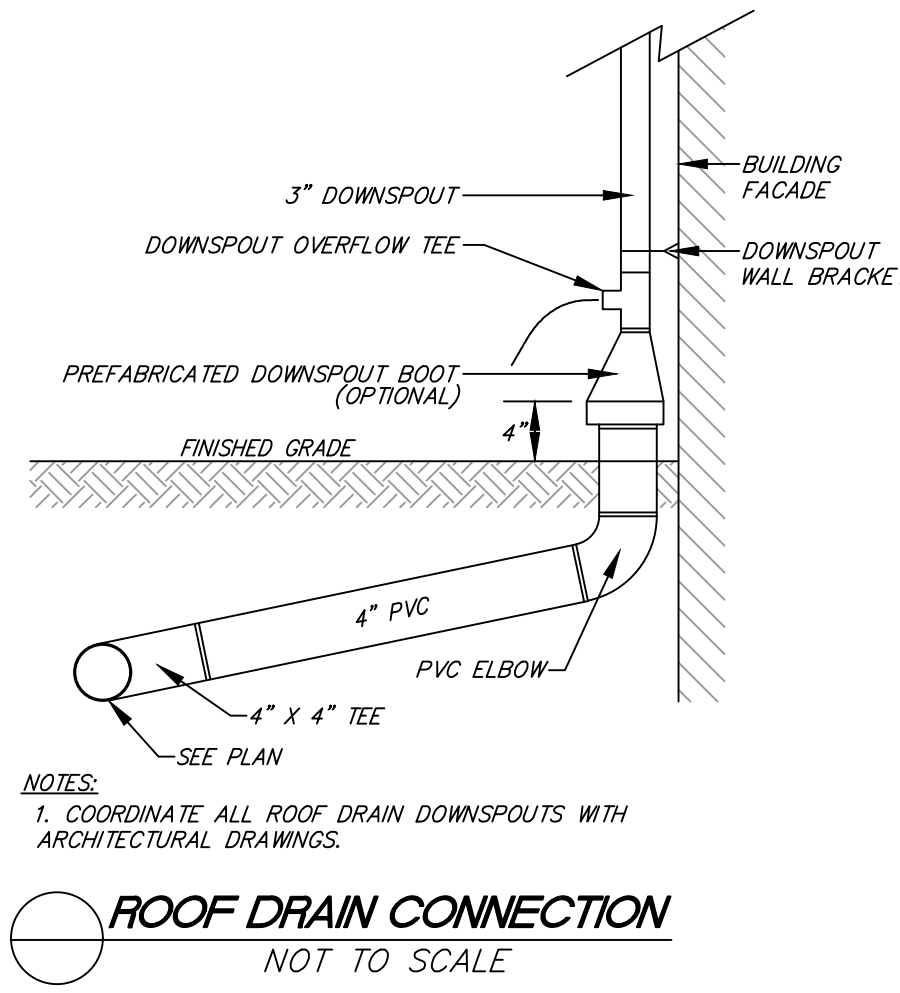
MATERIAL LOCATION		DESCRIPTION	AASHTO MATERIAL CLASSIFICATIONS	COMPACTION / DENSITY REQUIREMENT
D	FINAL FILL: FILL MATERIAL FOR LAYER 'D' STARTS FROM THE TOP OF THE 'C' LAYER TO THE BOTTOM OF FLEXIBLE PAVEMENT OR UNPAVED FINISHED GRADE ABOVE. NOTE THAT PAVEMENT SUBBASE MAY BE PART OF THE 'D' LAYER.	ANY SOIL/ROCK MATERIALS, NATIVE SOILS, OR PER ENGINEER'S PLANS. CHECK PLANS FOR PAVEMENT SUBGRADE REQUIREMENTS.	N/A	PREPARE PER SITE DESIGN ENGINEER'S PLANS. PAVED INSTALLATIONS MAY HAVE STRONG MATERIAL AND PREPARATION REQUIREMENTS.
C	INITIAL FILL: FILL MATERIAL FOR LAYER 'C' STARTS FROM THE TOP OF THE EMBEDMENT STONE ('B' LAYER) TO 18" (450 mm) ABOVE THE TOP OF THE CHAMBER. NOTE THAT PAVEMENT SUBBASE MAY BE A PART OF THE 'C' LAYER.	GRANULAR WELL-GRADED SOIL/AGGREGATE MIXTURES, <35% FINES OR PROCESSED AGGREGATE. MOST PAVEMENT SUBBASE MATERIALS CAN BE USED IN LIEU OF THIS LAYER.	AASHTO M141 ¹ A-1, A-2-4, A-3 OR AASHTO M43 ¹ 3, 357, 4, 467, 5, 56, 57, 6, 67, 68, 7, 78, 8, 89, 9, 10	BEGIN COMPACTIONS AFTER 12" (300 mm) OF MATERIAL OVER THE CHAMBERS IS REACHED. COMPACT ADDITIONAL LAYERS IN 6" (150 mm) MAX LIFTS TO A MIN. 95% PROCTOR DENSITY FOR WELL GRADED MATERIAL AND 95% RELATIVE DENSITY FOR PROCESSED AGGREGATE MATERIALS. ² ROLLER GROSS VEHICLE WEIGHT NOT TO EXCEED 12,000 lbs (53 kN). DYNAMIC FORCE NOT TO EXCEED 20,000 lbs (89 kN).
B	EMBEDMENT STONE: FILL SURROUNDING THE CHAMBERS FROM THE FOUNDATION STONE ('A' LAYER) TO THE 'C' LAYER ABOVE.	CLEAN, CRUSHED, ANGULAR STONE OR RECYCLED CONCRETE ⁵	AASHTO M43 ¹ 3, 357, 4, 467, 5, 56, 57	NO COMPACTION REQUIRED.
A	FOUNDATION STONE: FILL BELOW CHAMBERS FROM THE SUBGRADE UP TO THE FOOT (BOTTOM) OF THE CHAMBER.	CLEAN, CRUSHED, ANGULAR STONE OR RECYCLED CONCRETE ⁵	AASHTO M43 ¹ 3, 357, 4, 467, 5, 56, 57	PLATE COMPACT OR ROLL TO ACHIEVE A FLAT SURFACE. ^{2,3}

- PLEASE NOTE:
- THE LISTED AASHTO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST ALSO BE CLEAN, CRUSHED, ANGULAR. FOR EXAMPLE, A SPECIFICATION FOR #4 STONE WOULD STATE: "CLEAN, CRUSHED, ANGULAR NO. 4 (AASHTO M43) STONE".
 - STORMTECH COMPACTION REQUIREMENTS ARE MET FOR 'A' LOCATION MATERIALS WHEN PLACED AND COMPACTED IN 9\"/>



- NOTES:**
- CHAMBERS SHALL MEET THE REQUIREMENTS OF ASTM F2418, "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
 - DC-780 CHAMBERS SHALL BE DESIGNED IN ACCORDANCE WITH ASTM F2787 "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
 - THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR ASSESSING THE BEARING RESISTANCE (ALLOWABLE BEARING CAPACITY) OF THE SUBGRADE SOILS AND THE DEPTH OF FOUNDATION STONE WITH CONSIDERATION FOR THE RANGE OF EXPECTED SOIL MOISTURE CONDITIONS. REFERENCE STORMTECH DESIGN MANUAL FOR BEARING CAPACITY GUIDANCE.
 - PERIMETER STONE MUST BE EXTENDED HORIZONTALLY TO THE EXCAVATION WALL FOR BOTH VERTICAL AND SLOPED EXCAVATION WALLS.
 - REQUIREMENTS FOR HANDLING AND INSTALLATION:
 - TO MAINTAIN THE WIDTH OF CHAMBERS DURING SHIPPING AND HANDLING, CHAMBERS SHALL HAVE INTEGRAL, INTERLOCKING STACKING LUGS.
 - TO ENSURE A SECURE JOINT DURING INSTALLATION AND BACKFILL, THE HEIGHT OF THE CHAMBER JOINT SHALL NOT BE LESS THAN 2".
 - TO ENSURE THE INTEGRITY OF THE ARCH SHAPE DURING INSTALLATION, a) THE ARCH STIFFNESS CONSTANT AS DEFINED IN SECTION 6.2.8 OF ASTM F2418 SHALL BE GREATER THAN OR EQUAL TO 500 LBS/FT² (m) AND b) TO RESIST CHAMBER DEFORMATION DURING INSTALLATION AT ELEVATED TEMPERATURES (ABOVE 73° F / 23° C), CHAMBERS SHALL BE PRODUCED FROM REFLECTIVE GOLD OR YELLOW COLORS.

DC-780 CROSS SECTION DETAIL



- NOTES:**
- COORDINATE ALL ROOF DRAIN DOWNSPOUTS WITH ARCHITECTURAL DRAWINGS.

ROOF DRAIN CONNECTION
NOT TO SCALE

PERMIT
SITE
PLAN

39 West Street
Medway, MA 02053

ASSESSORS:

MAP 55 PARCEL 51

PREPARED FOR:

STEVEN G.
BRODY

39 West Street
Medway, MA 02053

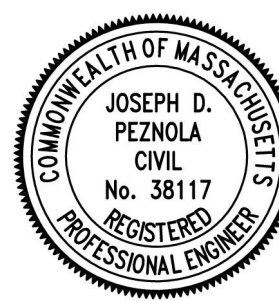
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APPRVD. BY: JP CHECK BY: BGS

DETAILS
SHEET 3

PLOT DATE: Aug 15, 2025 8:41 am
FILE: C:\Users\jpezo\OneDrive\Documents\25337SP.dwg - Sheet - Medway.dwg (DWG)
DWG: 25337SP.dwg
LAYOUT: 1.3DET3
SHEET: 13 OF 13
PROJECT NO.: 25337

DET3